



2023 Development Review Application

City staff contact: Dan Olson
763-531-1142
dan.olson@crystalmn.gov
4141 Douglas Dr N Crystal MN 55422
www.crystalmn.gov

1. Property Address for this application:

7000 57th Avenue North

2. Property Identification Number (PID):

0511821420063

3. Applicant:

Name:	New Horizon Academy, attn: Ms. Heidi Pross		
Street:	3405 Annapolis Lane North, #100	City: Plymouth	State: MN Zip: 55447
Telephone:	763-557-1111		
Email:	hpross@nhacademy.net		

4. Property Owner:

Same as the Applicant (if so, you don't need to complete this section)

Different from the Applicant (complete this section)

Name:	Weinberg Family, LP Moshe Weinberg		
Street:	7434 27th Street West	City: Minneapolis	State: MN Zip: 55426
Telephone:	952-285-2120		
Email:	moshe@weinbergsupply.com		

5. Project name and description:

Conversion of the existing Crystal Square one-story office building into a childcare center for New Horizon Academy. Site plan improvements include play spaces, landscaping improvements and parking lot removal (a portion thereof), remediation and repair. Building will be completely gutted and remodeled, as well as engage a Remediation Action Plan for subsurface contamination.

6. Project contact (the applicant shall designate one contact person for the application):

Name:	A. Peter Hilger, AIA	Role in Project:	Architect
Company:	Rylaur, LLC		
Street:	14 Pheasant Lane	City: North Oaks	State: MN Zip: 55127
Business Telephone:	612-868-3636		
Email:	philger@rylaur.com		

7. Additional design/engineering professional (if applicable):

Name:	Mr. David Knaeble	Role in Project:	Civil Engineer
Company:	Civil Site Group		
Street:	5000 Glenwood Ave.	City: Golden Valley	State: MN Zip: 55422
Business Telephone:	612-615-0060 x 703		
Email:	dknaeble@civilsitegroup.com		

8. Application type: A complete development review application includes the following:

- Completed and signed development review application form
- Completed and signed escrow form (if applicable - see list of application types below)
- Completed application checklist for each respective type of application (see list below)
- Payment of application fee for each respective type of application (see list below)

See Project Narrative

Type of application (check all that apply):	Application fee (nonrefundable): [1]
<input type="checkbox"/> Adjacent Parcel Land Conveyance	\$220 + \$220 escrow
<input type="checkbox"/> Administrative Appeal	\$220
<input type="checkbox"/> Comprehensive Plan Amendment	\$660 + \$660 escrow
<input checked="" type="checkbox"/> Conditional Use Permit	\$660 + \$660 escrow [2]
<input type="checkbox"/> Lot consolidation	\$440 + \$440 escrow
<input type="checkbox"/> Rezoning to Planned Development	\$1,320 + \$1,320 escrow
<input checked="" type="checkbox"/> Site Plan	\$660 + \$330 escrow
<input type="checkbox"/> Subdivision	\$660 + \$66 per lot over 2, + \$660 escrow
<input type="checkbox"/> Vacation of a public street or easement	\$550 + \$550 escrow
<input type="checkbox"/> Variance	\$550 + \$275 escrow
<input type="checkbox"/> Zoning Certificate	\$110 [2]
<input type="checkbox"/> Zoning Map or Text Amendment	\$660 + \$660 escrow
Total fee: \$3,300 1320.00	

[1]: The escrow fee will first be applied to cover County recording fees and legal fees related to the review of documents associated with the application. For telecommunication towers, the escrow fee will also be applied to engineering review expenses. The remaining escrow fee will be returned to the applicant.

[2]: The fee for a telecommunication tower is \$2,000, plus a \$10,000 escrow

Notice: Review of a development application and the decision to approve, approve with modifications, or deny the application will be based on the standards and criteria found in the Crystal Comprehensive Plan, Unified Development Code and any other applicable governmental codes, guidelines, standards or policies necessary to safeguard public health, safety, aesthetics, and general welfare. Approval of this application does not absolve the applicant from obtaining all other applicable permits, such as stormwater or building permits.

Applicant: I (We) certify that I (we) have submitted all the required information to apply for consideration of a development review application and the information is factually correct and accurate.

Property Owner: I (We) certify that I am aware that a development review application for the property I (We) own is being submitted by the applicant.

Heidi Pross _____ Date: 9/12/2023
 Signature of Applicant

M. C. [Signature] _____ Date: 9/13/23
 Signature of Property Owner (if different from Applicant)

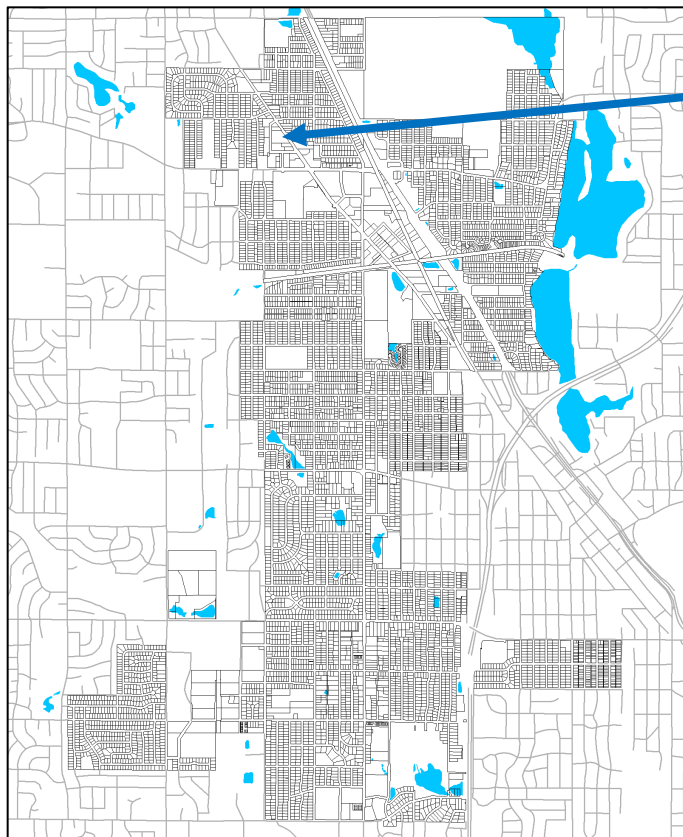
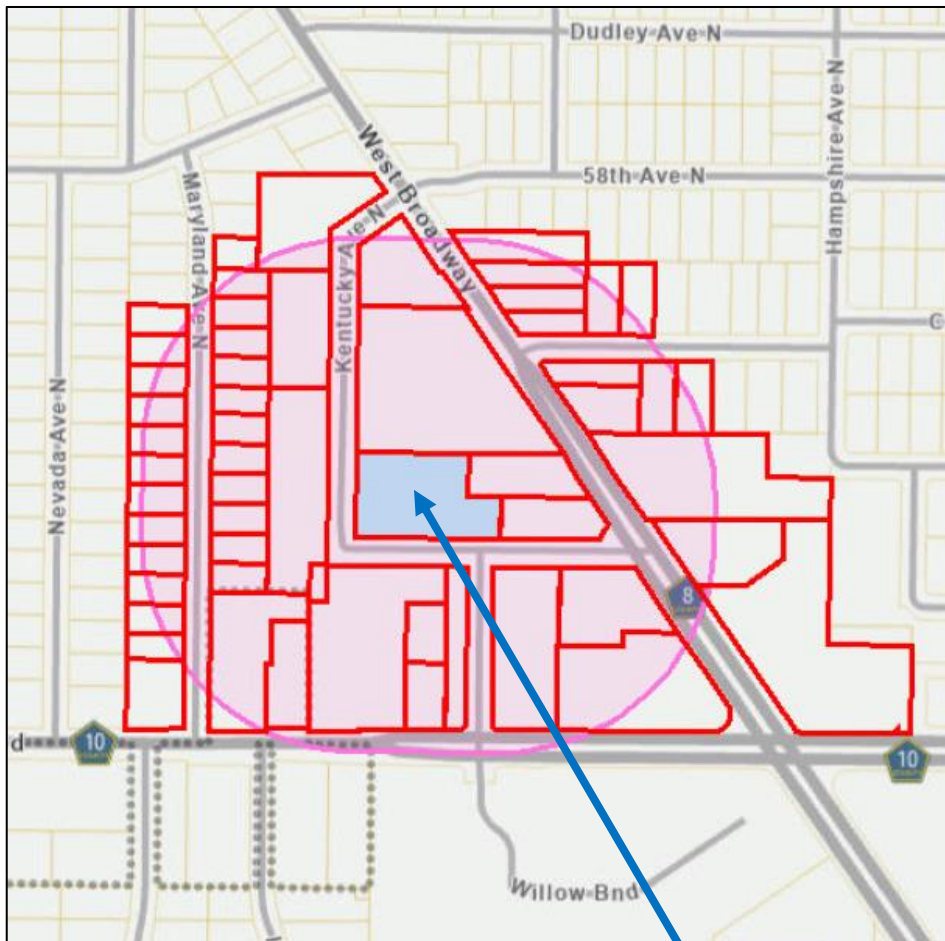
FOR OFFICE USE ONLY: Application # 2023-06 Accounting # 0100.4418 Receipt # 170098 Date Received 9-14-23

Acknowledgement letter sent ___/___/___ If application incomplete, was 60-day rule language included? ___

Plan Comm hearing ___/___/___ City Council action ___/___/___ Approved? Yes ___ No ___ Other ___

NOTES: _____

Site Location and Public Hearing Notice Mailing Map



7000 – 57th Ave N



CITY of CRYSTAL

4141 Douglas Dr. N.
Crystal MN 55422

CITY OF CRYSTAL

CONDITIONAL USE PERMIT APPLICATION 7000 – 57TH AVENUE NORTH

PUBLIC HEARING NOTICE 7:00 P.M. ON MONDAY, OCTOBER 9, 2023 CRYSTAL CITY HALL (4141 DOUGLAS DR N) AND ZOOM VIDEO CONFERENCE

The Crystal Planning Commission will consider a conditional use permit (CUP) application from New Horizon Academy, which is proposing to purchase the property at 7000 – 57th Ave N, and remodel the existing office building into a child day care center.

Key elements of the proposal:

1. **No enlargement.** The footprint for the building and parking lot will not increase (in fact the parking lot will decrease to accommodate fenced outdoor play areas). The day care will have a maximum number of 189 children under 6 years of age, with 29 staff persons.
2. **Parking.** The day care will have 43 parking spaces and the applicant has provided a parking analysis in their project narrative describing why this amount is sufficient based on the number of proposed children and staff.

The Planning Commission will hold a public hearing on the application at 7:00 p.m. on October 9, 2023 in the Council Chambers at Crystal City Hall, 4141 Douglas Drive North.

To view the application including a detailed site plan:

- Visit City Hall during normal business hours, or
- Visit the 2023 Land Use Applications page on the city website, www.crystalmn.gov or use the QR code to the right for a direct link.
- The staff report to the Planning Commission will be available by October 6 on the same page of the website.



To speak directly to the Planning Commission on the proposal, you may:

- Attend the meeting via Zoom: <https://go.crystalmn.gov/Oct09> (meeting ID is 875 8780 3975 and password is 414141) or call-in toll free at 888-475-4499, or
- Attend the public hearing in-person on Monday, October 9, 2023 at 7 p.m. at City Hall.

LEGAL NOTICE: Notice is hereby given that the Planning Commission of the City of Crystal will meet on October 9, 2023 at 7:00 p.m. at Crystal City Hall, 4141 Douglas Drive North, in said City, to consider a conditional use permit application from New Horizon Academy to allow a child day care facility at 7000 – 57th Avenue North. After holding the public hearing, the Commission is expected to make a recommendation to the City Council for their meeting on Tuesday, October 17, 2023 at Crystal City Hall. Persons desiring to be heard are invited and encouraged to attend the public hearing. Persons unable to attend may submit written comments prior to the date of the hearing to: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422. Auxiliary aids are available upon request to individuals with disabilities by calling the city clerk at 763-531-1145 at least 96 hours in advance. TTY users may call Minnesota Relay at 711 or 1-800-627-3529.



September 12, 2023

SUMMARY REPORT

TO: Mr. Dan Olson; City Planner, City of Crystal

FROM: A. Peter Hilger, AIA philger@rylaur.com

RE: New Horizon Academy
7000 57th Avenue North

Please find attached all applications and documentation necessary for the City of Crystal to review and hopefully approve this proposed development. Following is a narrative summary of the proposed project.

ABOUT NEW HORIZON ACADEMY

New Horizon Academy is a high-quality early learning provider that is 4-Star Parent Aware rated and accredited by the National Association for the Education of Young Children (“NAEYC”), the gold standard in the early childhood industry. New Horizon Academy has been serving metro area families since 1972 and seeks to fill a market gap at this location. The school will be fully functional within this existing structure requiring substantial remodeling to meet their criteria. They expect this to be a first-class, purpose-built facility designed by New Horizon Academy for existing and new families seeking high quality, educational child care.

ABOUT THE SITE

The site is presently known as Crystal Square, located on the northeast corner of Kentucky and 57th Avenue North. Constructed in 1976, it is a modest low-rise 1-story office building serving multiple tenants on short term leases. The site has an existing but “tired” parking area, much of which will be re-purposed into age-appropriate play areas.

The site is currently zoned Commercial within Zone “X”, within the town Center Overlay District. Childcare is an approved use by Conditional use Permit, as presently applied, and is consistent with the City’s Comprehensive Plan. The site is in an area determined to be outside the 0.2% annual chance flood plain.

The proposed use as a childcare center does not generate any environmental concerns, nor does it generate noise (except children at play – hopefully deemed a pleasant sound). Hours of operation are generally 6:00 AM to 6:00 or 6:30 PM, Monday through Friday. New parking lot and building lighting is proposed to be glare free and energy efficient.

A Phase 1 and Phase 2 Environmental Evaluation has been completed, detecting environmental groundwater contamination from off-site sources that must be mitigated. New Horizon has experience with this process and has retained Braun Intertec to provide the Remediation Action Plan, such plan to include a vapor mitigation plan.

BUILDING AND OCCUPANCY

At 15,948 SF, this single-story building is intended to be visually re-purposed to blend with, and improve, the general characteristics of its commercial neighbors. The actual program breaks down as follows:

Infants: 3 rooms @ 12 = 36
Transition: 1 room @14 = 14
Toddler: 2 rooms @14 = 28
Toddler: 1 room @ 21 = 21
Preschool: 3 rooms @20= 60
Preschool: 1 room @ 30 = 30

TOTAL CHILD COUNT: 189 + 29 staff

Typical Industry Occupancy Rate 80% (conservative)

TOTAL Planned Population Daily Density: 141

With accessory spaces as follows:

Large Motor Play Space: 1200 SF for use by occupants
Various Storage, Service and Administrative functions
An office for a community social services liaison
A sensory/calming environment (new to New Horizon)

Operationally, on any typical operating day during the school year at New Horizon's typical existing centers that are slightly smaller than this center, daily attendance averaged 143 children (typical school capacity is 172 children, 75% occupancy rate) and 23 staff, including families that have two children attending. It is important to note that licensed capacity is strictly focused on design standards for classrooms and play spaces. Rarely are any centers fully occupied. Occupancy always fluctuates and is rarely over 80% of licensed capacity. Finally, many staff also have their own children in the program.

A segregated trash enclosure is proposed on the east side of the property, constructed of similar ribbed rockface concrete block to match the building.

The building will be re-classified as Type V-N construction, I-4 occupancy with a new fire sprinkler system for the entire building.

ARCHITECTURE

The existing architecture features alternating panels of deep ribbed corduroy concrete block units alternating with panels of 4' wide glass. The spandrel above and below the windows is an exposed aggregate treatment. Overall, the alternating panel treatment is expected to remain, however we propose to raise several parapet areas comprised of stucco that are symmetrically placed along the four more-or-less equal facades to break up the stark horizontality of the building. As there are no parapets presently, this would enable some limited blocking of sight lines to existing rooftop units. Two of these stucco parapets would also host a wall sign panel along the street frontages. Finally, we are proposing adding some concrete stone materials to the front curved element as well as create a larger covered entry canopy, subsuming the existing, almost invisible roof covering. The panels would be treated with a New Horizon blue metal accent stripe.

PLAY SPACES

New Horizon Academy is committed to well-designed play-spaces, ones that do not rely solely upon large motor skill equipment, but also some natural elements that invite a child's explorative curiosity in keeping with their mission. The plans call for the three different play areas (infant, toddler, and preschool). Additionally, the play areas will utilize best practices for safety. The play areas are all designed well above the licensing standard minimum areas, summarized as follows:

- Infant area: 1020 SF / 12 children = one room per play (crawl) session
- Toddler Area: 36600 SF / 48 children > 63 licensed (limit two rooms max per session)
- Preschool Area: 9,735 SF / 129 children = 129 licensed (likely 1 or 2 classrooms per session)

FENCING, LANDSCAPING AND SCREENING

Each of the three age-segregated play areas are proposed to be fenced with a 6'-0" high black steel ornamental picket style (no screening or opacity) where fronting a property boundary. Internal fences separating play spaces from each other are 5' high (such as between Toddler and Preschool play-spaces). The south street frontage along 57th Avenue North would have only 18% of its overall length fenced up to the utility easement line (enclosing the Infant play space). 60% of the Kentucky Avenue North frontage would be fenced, primarily protecting the discharge pathway from the toddler classrooms to the toddler play-space on the northwest corner of the lot. In all but the roughly 54' exposed to the play area, the fence is setback approximately 16' from the property line demarcated by the existing city sidewalk, reduced to 5' setback for approximately 40' at the Toddler play-space. All fence gates would be secured with panic hardware and pool alarms.

The proposed landscape is an attractive and diverse planting, providing seasonal interest throughout the year. Plants were selected to match the site conditions, and to meet the city landscape standards.

Existing and proposed utilities on the west side of the site limit the ability to provide the required 18 deciduous overstory trees along street frontages. To make up for this deficiency, additional trees have been added throughout the site, for a total of 19 overstory, and 7 understory trees. There is an electric utility easement along 57th Av., and a drainage and utility easement that runs the length of the east perimeter. These were noted on the survey, and it needs to be confirmed whether trees and shrubs can be planted in these areas.

The ash tree that is not impacted by the proposed stormwater management system, appears to already have Emerald Ash borer damage, and limits the opportunity to treat for prevention. A note is on the drawing to have an arborist review and confirm.

The landscape will be fully irrigated with a system using water efficient technologies such as water saving sensors, a flow meter, and dripline in the planting beds.

SIGNAGE

We are proposing to create slightly raised wall sign panel areas on the Kentucky and 57th Street frontages, symmetrically balanced on the new parapet treatment. In addition, a sign over the new entrance canopy facing the parking lot is proposed. All signage areas are well below the allowable areas.

We are proposing, at a minimum, to remodel the existing building monument sign, but would like to explore the option for a pylon type sign at this location.

PARKING

The existing parking lot is primarily the same layout as present, however a bit shortened to accommodate the preschool play area, and reverting to one curb cut off of 57th. The school “bus” used by new Horizon is typically a small expanded van. The lot is expected to accommodate 43 parking spaces, including 2 designated handicap stalls.

The City of Crystal does not regulate the quantity of childcare parking stalls. Therefore, we are proposing our judgment from operating so many centers, as well as a traffic study generated on our behalf for a typical center (attached for reference), and other data to support our design. Further, it should be noted that there is on street parking on both Kentucky and 57th Avenue, though except in tight urban areas, we do not like to rely on on-street parking.

First, the Institute of Traffic Engineers (ITE) Parking Generation Manual has established three separate calculation metrics:

- a rate of 0.24 spaces per student, Using $0.24 \times 189 \text{ students} = 45$ parking stalls, 2 stalls less than we have planned.
- An average of 2.45 stalls per 1,000 SF = $15,948 \text{ gross} \times 90\% = 14,353 \text{ SF net} / 1,000 = 14.3 \times 2.45 = 39$ stalls
- an average of 1.22 spaces per employee = $29 \times 1.22 = 35$ stalls

ITE Parking Generation Manual, 5th Edition - Daycare Center #560	Average 2.45 per 1,000 SF	Average 0.24 per student	Average 1.22 spaces per employee	Average of 3 ITE Factors
# stalls applied to our site:	39.07	45.36	35.38	40

Averaging these three factors yields a parking stall count of **40 stalls**, less than the 43 stalls we are proposing.

Second, New Horizon Academy has commissioned a traffic study of their existing Apple Valley center, of a similar though slightly smaller size (17more children in Crystal), to provide empirical evidence of the licensed occupant load calculations and their impact on parking.

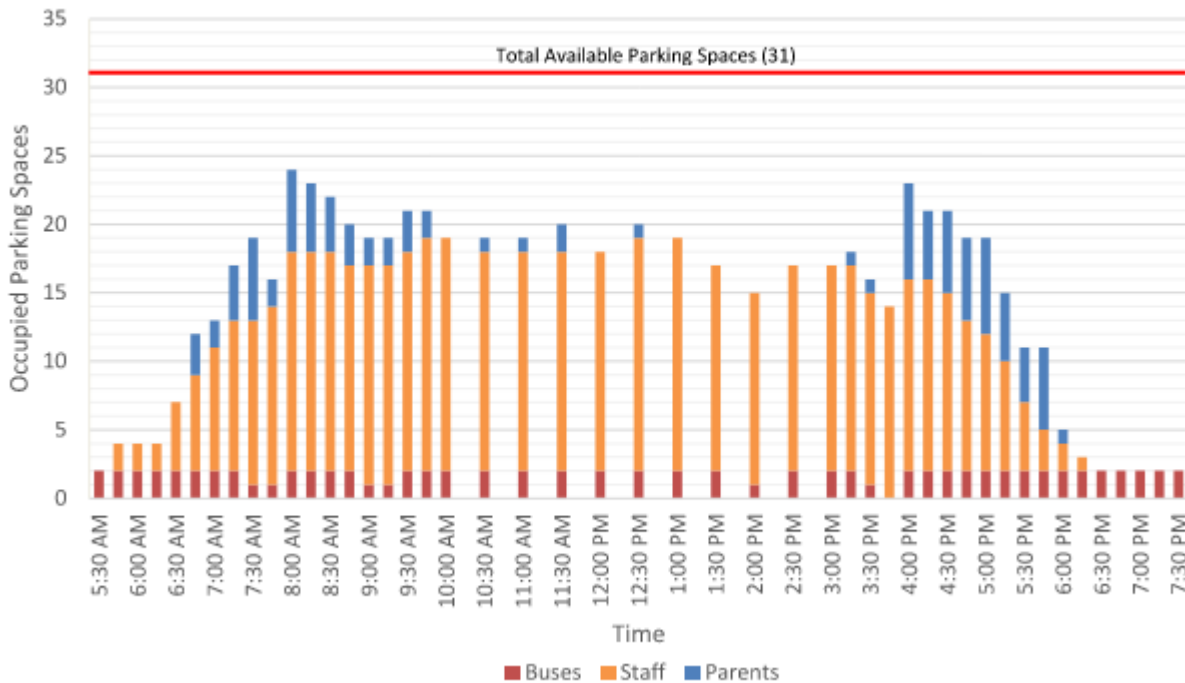
Following are the actual peak hour and 14-hpourt total traffic trip generation for a typical week at the existing centers of similar size and design:

Table 1 – Entering and Exiting Volumes (2021)

Time Period	Entering	Exiting	Total
AM (7:15 - 8:15 AM)	61	56	117
PM (4:30 - 5:30 PM)	54	64	118
Daily (14-hr total)	259	259	518

The following chart summarizes the density of use of the parking lot from the Apple Valley center from 5:30 - 7:30: From this study, the maximum number of occupied parking spaces at any given time was 24, occurring at 8:00 AM during the morning peak.

Figure 2 - Parking Lot Occupancy



Finally, there is plenty of regional justification for a lower standard. Rylaur has designed over 100 childcare centers around the City and country, and offers the following examples of parking densities for similarly designed and managed facilities in suburban locations:

Metro Area Childcare Parking Ordinance Comparison

Suburban Standard	Children	Staff	Combined	For 126 Children* + 21 Staff	Occupants Per Stall	Notes
St Paul (suburban comparable)	number of staff largest shift			23	6.87	Discount as outlier
Golden Valley	1:06	NA		21	7.52	staff included in child ratio
Maple Grove	1:07	1:3 classrms		21	7.52	
St. Louis Park	1:10	1:02		23	6.87	
Shakopee	1:05	NA		25	6.32	staff included in child ratio
Edina	1:20	1:01		27	5.85	
Rosemount	1:20	1:01		34	4.65	
Eagan	-	-	10 + 1/500SF	35	4.51	
Bloomington	1.2:10	1:01		36	4.39	
Brooklyn Park	1:07	1:01		39	4.05	
Plymouth	1:06	1:01		42	3.76	
Lino Lakes	1:05	1:01		46	3.43	Permits proven deferment
Blaine	No standard, determined by staff			NA		"same basis as most similar"
Brooklyn Center	No standard, determined by staff			NA		Demonstrate capacity
Crystal	No standard, determined by staff			NA		Demonstrate capacity
Eden Prairie	No standard, determined by staff			NA		Demonstrate capacity
*full day licensed capacity			AVERAGE	32	5.42	

26.9
Average Below Lino Lakes

Though this data is for a smaller capacity center, the data suggests an average of 5.42 occupants per stall, meaning our 43 stall parking lot could support 233 occupants, well above our planned capacity.

DEVELOPED SITE COMPARISONS - CHILD CARE SIZE/OCCUPANCY/PARKING

SUBURBAN	Total Bldg Area	Pre- School Age Licensed Capacity	School Age*	Total	Staff	Parking Stalls	Ratio: Stall/Bldg Area	Ratio: Occupants*/Stall
Lino Lakes	12,873	138	0	138	22	45	286	3.56
Eden Prarire-1	9,915	124	30	154	23	38	261	3.87
Blaine	10,733	142	30	172	21	39	275	4.18
Lakeville	10,560	122	27	149	21	33	320	4.33
Plymouth-1	5,872	87	20	107	22	25	235	4.36
Brooklyn Park-3	12,400	143	20	163	21	37	335	4.43
Shakopee-1	12,522	146	30	176	24	38	330	4.47
Eden Prarire-2	14,537	189	0	189	34	47	309	4.74
Elk River	10,560	112	30	142	21	28	377	4.75
Maple Grove	5,873	87	20	107	22	22	267	4.95
Coon Rapids	10,139	142	30	172	23	33	307	5.00
Eagan	11,928	132	30	162	24	31	385	5.03
Plymouth-2	13,023	141	0	141	23	32	407	5.13
Brooklyn Park-2	9,614	126	0	126	23	28	343	5.32
Plymouth-3	10,733	142	30	172	25	31	346	5.39
Brooklyn Park-1	10,947	126	0	126	23	27	405	5.52
Apple Valley	10,563	142	30	172	21	29	364	5.62
St. Louis Park	10,140	138	30	168	26	28	362	5.86
Rosemount	12,106	176	0	176	25	34	356	5.91
Shakopee-2	11,000	154	30	184	24	27	407	6.59
St. Paul - North (suburban)	14,082	166	30	196	26	27	522	7.11
Edina	10,085	132	0	132	20	21	480	7.24
AVERAGE	10,803	135		156	23	32	351	5.01
CRYSTAL SITE	15,948	189	0	189	29	42	380	5.19

As you can see from this comparative study, we are right in line with regional evidence and experience, providing slightly more parking than other codes and traffic standards would allow, not even counting street parking. Based upon this evidence from three separate source calculations, we respectfully request the parking determination to properly reflect the proposed design.

SUMMARY

We respectfully request your approval of the proposed Conditional Use Permit, as we believe this to be a good fit for the neighborhood and the Crystal community, and is well integrated into the immediate neighborhood.

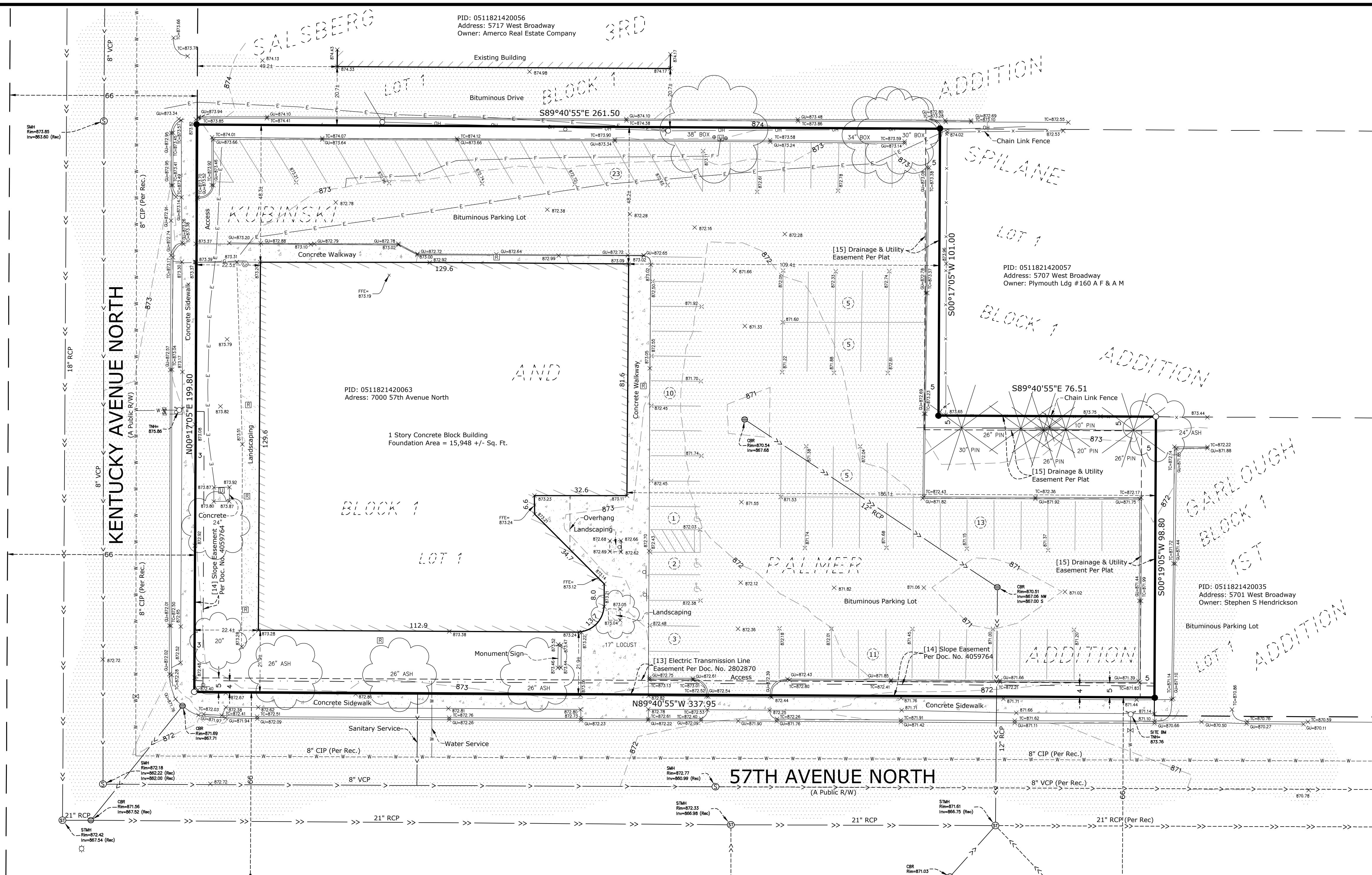
Thank you for your consideration. If you have questions, or need additional information, please advise.



END OF SUMMARY REPORT

Attachments:

New Horizon Traffic Study - Apple Valley, SEH, October 20, 2021



7000 57th Avenue North

Crystal, Hennepin County, Minnesota 55428

Rylaur, LLC

14 Pheasant Lane, North Oaks, Minnesota 55127

PROJECT

CLIENT

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

RORY L. SYNSTELLEN
DATE 7-26-2023 LICENSE NO. 44565

QA/QC	DHHS
FIELD CREW	DS
DRAWN BY	CJ
REVIEWED BY	CJ
UPDATED BY	



REVISION SUMMARY	
DATE	DESCRIPTION

PROJECT NO.: 23128.00

ALTA/NSPS LAND TITLE SURVEY

V1.0

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DESCRIPTION OF PROPERTY SURVEYED

Lot 1, Block 1, Kubinski and Palmer Addition.
Hennepin County, Minnesota
Abstract Property

GENERAL SURVEY NOTES

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
- Elevations are based on the NGVD 29 Datum. Site Benchmark is the top nut of the fire hydrant located on the north side of 57th Avenue North, approximately 10 feet southwest of the southeast corner of the subject property, as shown hereon. Elevation = 873.76
- We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.

ALTA/NSPS LAND TITLE SURVEY NOTES
(numbered per Table A)

- Monuments placed and/or found at all major corners of the boundary of the surveyed property as shown hereon.
- Site Address: 7000 57th Avenue North, Crystal, Minnesota 55428.
- This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0211F, effective date of November 4, 2016.
- The Gross land area is 59,804 +/- square feet or 1.373 +/- acres.
- (a) Exterior dimensions of buildings at ground level as shown hereon.
- Substantial features observed in the process of conducting the fieldwork as shown hereon. Please note that seasonal conditions may inhibit our ability to visibly observe all site features located on the subject property.
- The number of striped parking stalls on this site are as follows: 75 Regular + 3 Handicap = 78 Total Parking Stalls.
- The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from the Hennepin County Interactive Property Map.

SURVEY REPORT

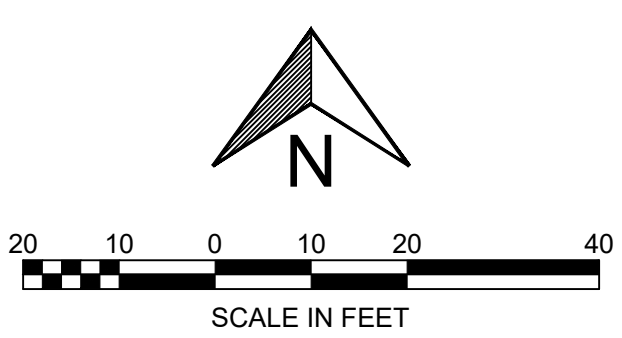
- This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Commercial Partners Title, a division of Fidelity National Title Insurance Company, as agent for Fidelity National Title Insurance Company, File No. CP72024, dated April 14, 2023. We note the following with regards to Schedule B II Exceptions of the herein referenced Title Commitment:
 - Item no.'s 1-12 are not survey related.
 - The following are numbered per the referenced Title Commitment:
 - [13]. Terms and conditions of easement for electric transmission line purposes, in favor of Northern States Power Company, as set forth in instrument dated November 19, 1952, filed March 20, 1953, as Document No. 2802870. **Easement is located along the south 5 feet of the subject property, as shown hereon.**
 - [14]. Rights and easements in favor of the City of Crystal, acquired in Condemnation, as evidenced by Final Certificate dated December 10, 1973, filed December 17, 1973, as Document No. 4059764. **Document provides for a street easement and slope easements over parts of the underlying Lot 26, Auditor's Subdivision No. 226. The street easement has been since dedicated per the plat of Kubinski and Palmer Addition and does not appear to affect the subject property. The slope easements lie over a portion of the southerly 3 feet and the southerly 4 feet of the subject property, as shown hereon.**
 - [15]. Drainage and Utility easements as shown on the recorded plats of Spilane Addition and Kubinski and Palmer Addition. **Easements are located along the east 5 feet of the subject property, as shown hereon.**

ALTA CERTIFICATION

To: Weinberg Family Limited Partnership, a Minnesota limited partnership; New Horizon Child Care, Inc., a Minnesota corporation; Commercial Partners Title, a division of Fidelity National Title Insurance Company; and Fidelity National Title Insurance Company;
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, and 13 of Table A thereof.
The fieldwork was completed on 6-16-2023.
Dated this 26th day of July, 2023.

Rory L. Synstelen
Minnesota License No. 44565
rory@civilsitegroup.com

JERSEY AVENUE NORTH
(A Public R/W)



Linetype & Symbol Legend

---	ELECTRIC LINE (RECORD)	⊠	AIR CONDITIONER	⊠	UTILITY VAULT
---	ELECTRIC LINE (RECORD)	⊠	CABLE TV BOX	⊠	ELECTRIC MANHOLE
---	FIBER/COMM. LINE (RECORD)	⊠	ELECTRIC MANHOLE	⊠	ELECTRICAL OUTLET
---	FIBER/COMM. LINE (RECORD)	⊠	FIBER/COMM. LINE (RECORD)	⊠	HAND HOLE
---	GASMAIN (RECORD)	⊠	GASMAIN (RECORD)	⊠	ELECTRICAL METER
---	GASMAIN (RECORD)	⊠	OVERHEAD UTILITIES	⊠	FIBER/COMM. MANHOLE
---	SANITARY SEWER (RECORD)	⊠	SANITARY SEWER (RECORD)	⊠	POWER POLE
---	SANITARY SEWER (RECORD)	⊠	STORM SEWER (RECORD)	⊠	GUY WIRE
---	STORM SEWER (RECORD)	⊠	TELEPHONE LINE (RECORD)	⊠	GAS METER
---	TELEPHONE LINE (RECORD)	⊠	WATERMAIN (RECORD)	⊠	GAS MANHOLE
---	WATERMAIN (RECORD)	⊠	CHAINLINK FENCELINE	⊠	GAS VALVE
---	WOODEN FENCELINE	⊠	WOODEN FENCELINE	⊠	ROOF DRAIN
---	GUARDRAIL	⊠	GUARDRAIL	⊠	SEWER CLEAN OUT
---	ACCESS RESTRICTION	⊠	ACCESS RESTRICTION	⊠	SANITARY MANHOLE
---	CONCRETE SURFACE	⊠	CONCRETE SURFACE	⊠	STORM MANHOLE
---	PAVER SURFACE	⊠	PAVER SURFACE	⊠	CATCH BASIN
---	BITUMINOUS SURFACE	⊠	BITUMINOUS SURFACE	⊠	FLARED END SECTION
---	GRAVEL/LANDSCAPE SURFACE	⊠	GRAVEL/LANDSCAPE SURFACE	⊠	WATERMAIN
---		⊠		⊠	WATERMANHOLE
---		⊠		⊠	WATER VALVE
---		⊠		⊠	WELL

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

NEW HORIZON ACADEMY

7000 57TH AVENUE N, CRYSTAL, MN 55428

NEW HORIZON ACADEMY

3405 ANNAPOLIS LANE N, PLYMOUTH, MN 55447

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

David J. Knaeble
David J. Knaeble
DATE 09/12/2023 LICENSE NO. 48776

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
9/12/2023	CITY SUBMITTAL

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

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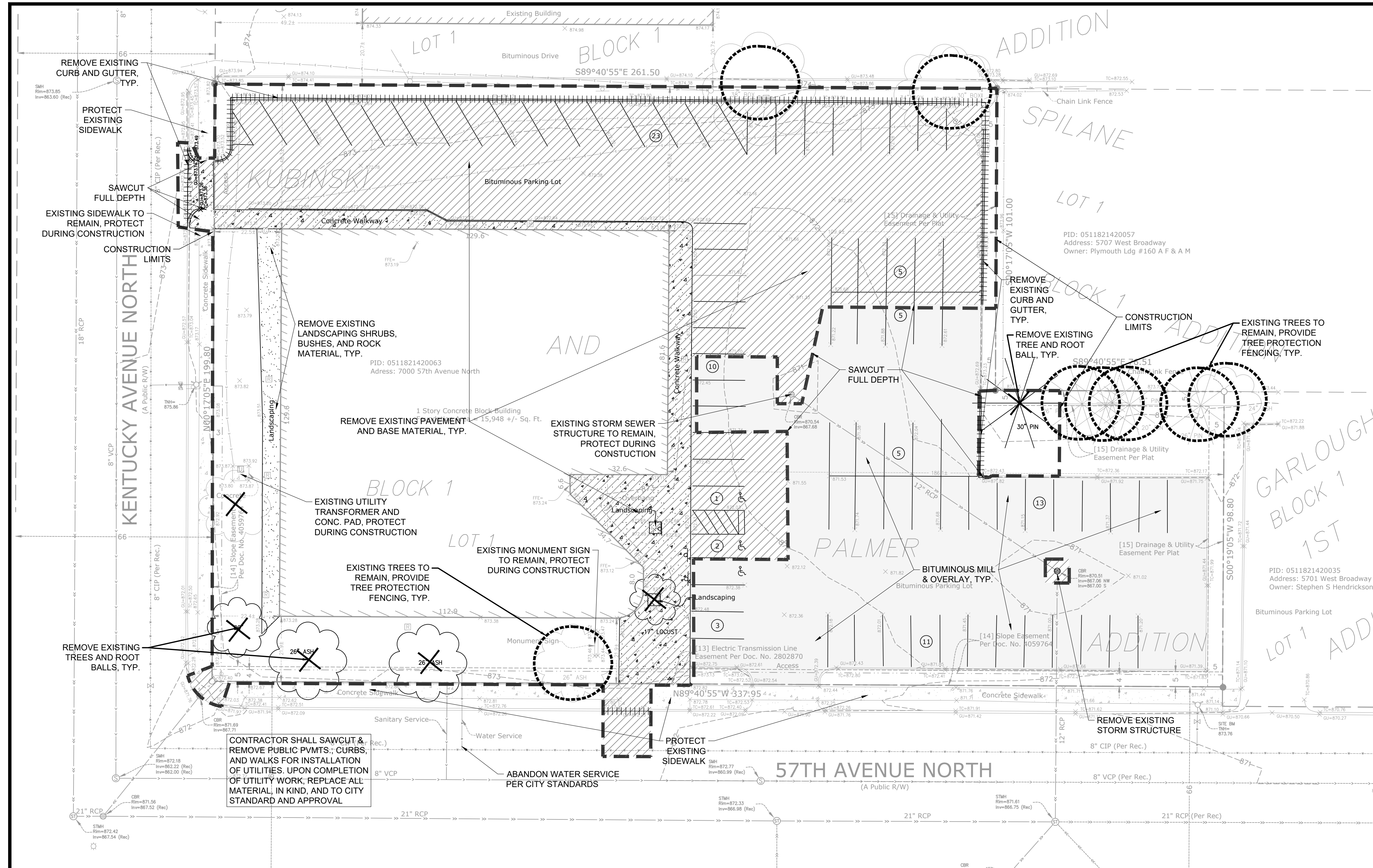
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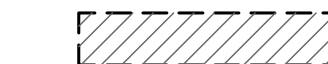

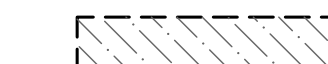


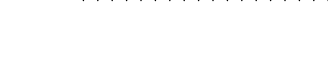


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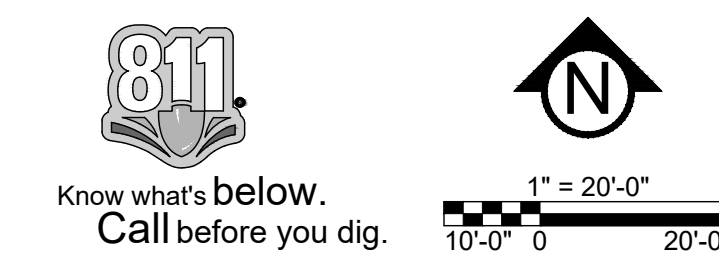


REMOVALS LEGEND:

-  REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.
-  BITUMINOUS MILL AND OVERLAY.
-  REMOVAL OF TREES AND VEGETATION INCLUDING STUMPS AND ROOT SYSTEMS
-  CONSTRUCTION LIMITS
-  PROPERTY LINE
-  REMOVE CURB AND GUTTER, IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.
-  TREE PROTECTION
-  TREE REMOVAL - INCLUDING ROOTS AND STUMPS

OWNER INFORMATION
NEW HORIZON ACADEMY
3405 ANNAPOLIS LANE N, SUITE 100
PLYMOUTH, MN 55447
HEIDI PROSS
763-383-6216
HPROSS@NHACADEMY.NET

SEE SHEET C0.1 FOR GENERAL REMOVAL NOTES



REMOVALS PLAN

C1.0

PRELIMINARY:
NOT FOR
CONSTRUCTION

NEW HORIZON ACADEMY

7000 57TH AVENUE N. CRYSTAL, MN 55428

NEW HORIZON ACADEMY
3405 ANNAPOLIS LANE N. PLYMOUTH, MN 55447

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

David J. Knaeble
DATE 09/12/2023 LICENSE NO. 48776

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
9/12/2023	CITY SUBMITTAL

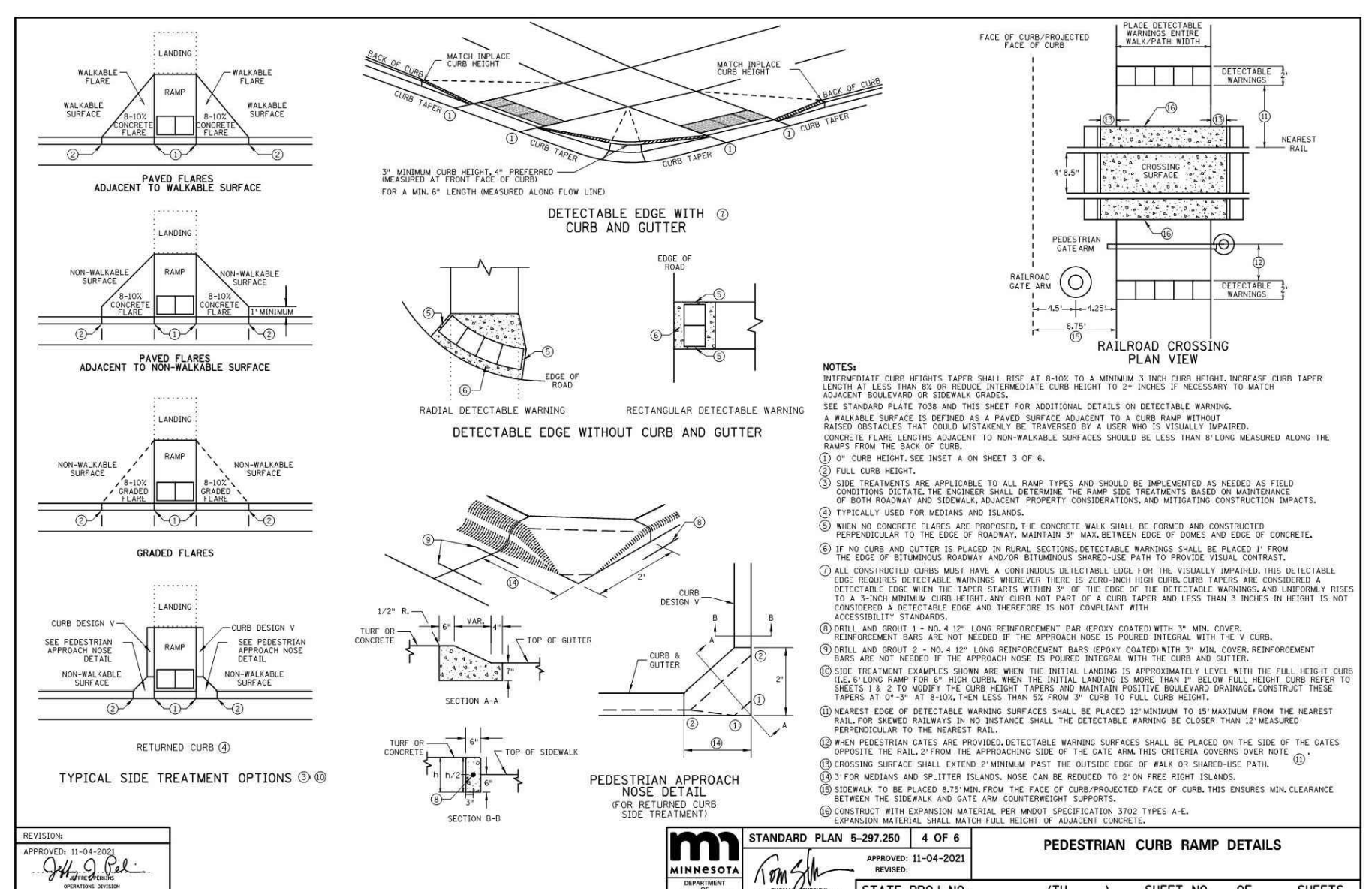
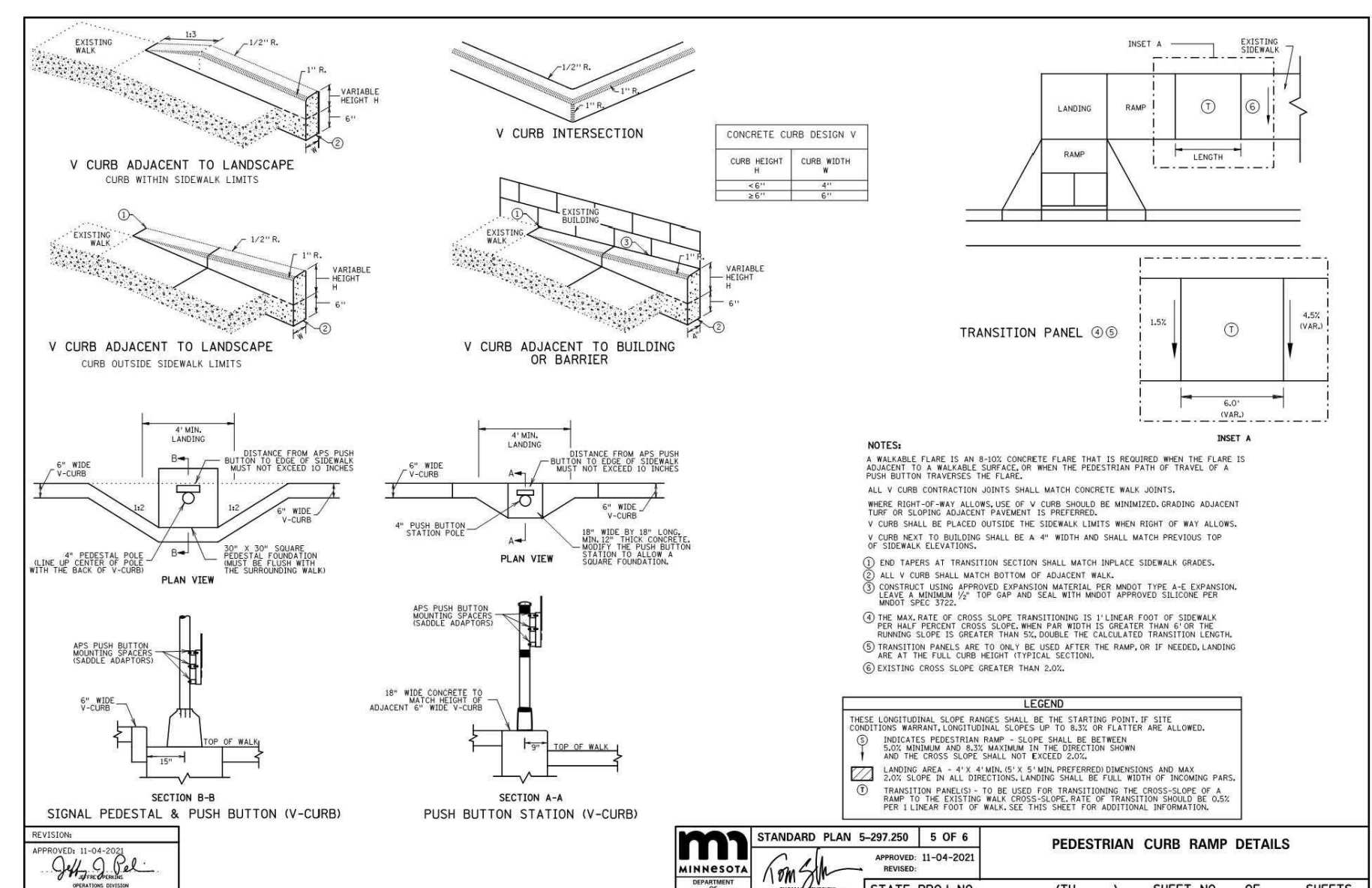
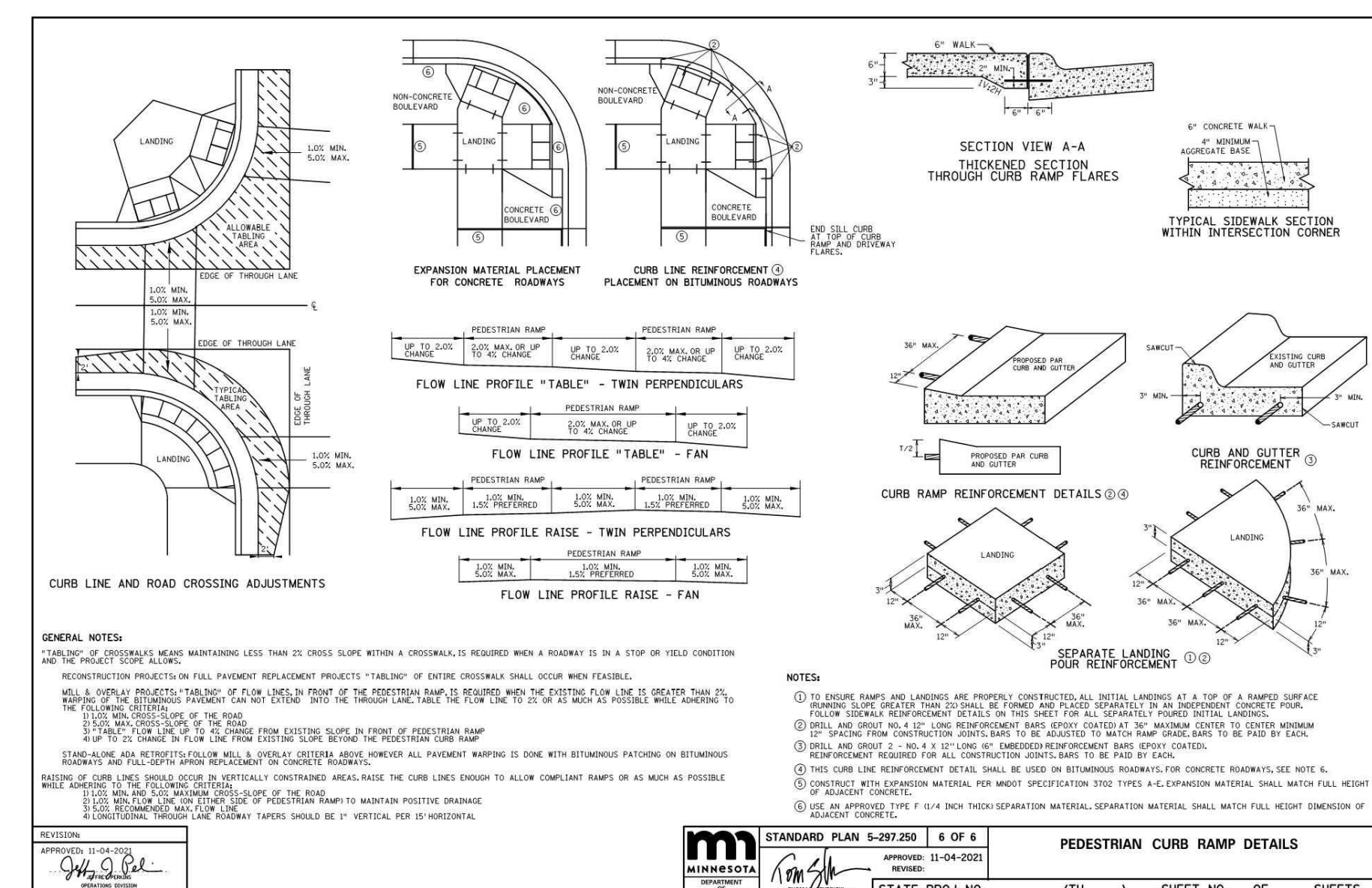
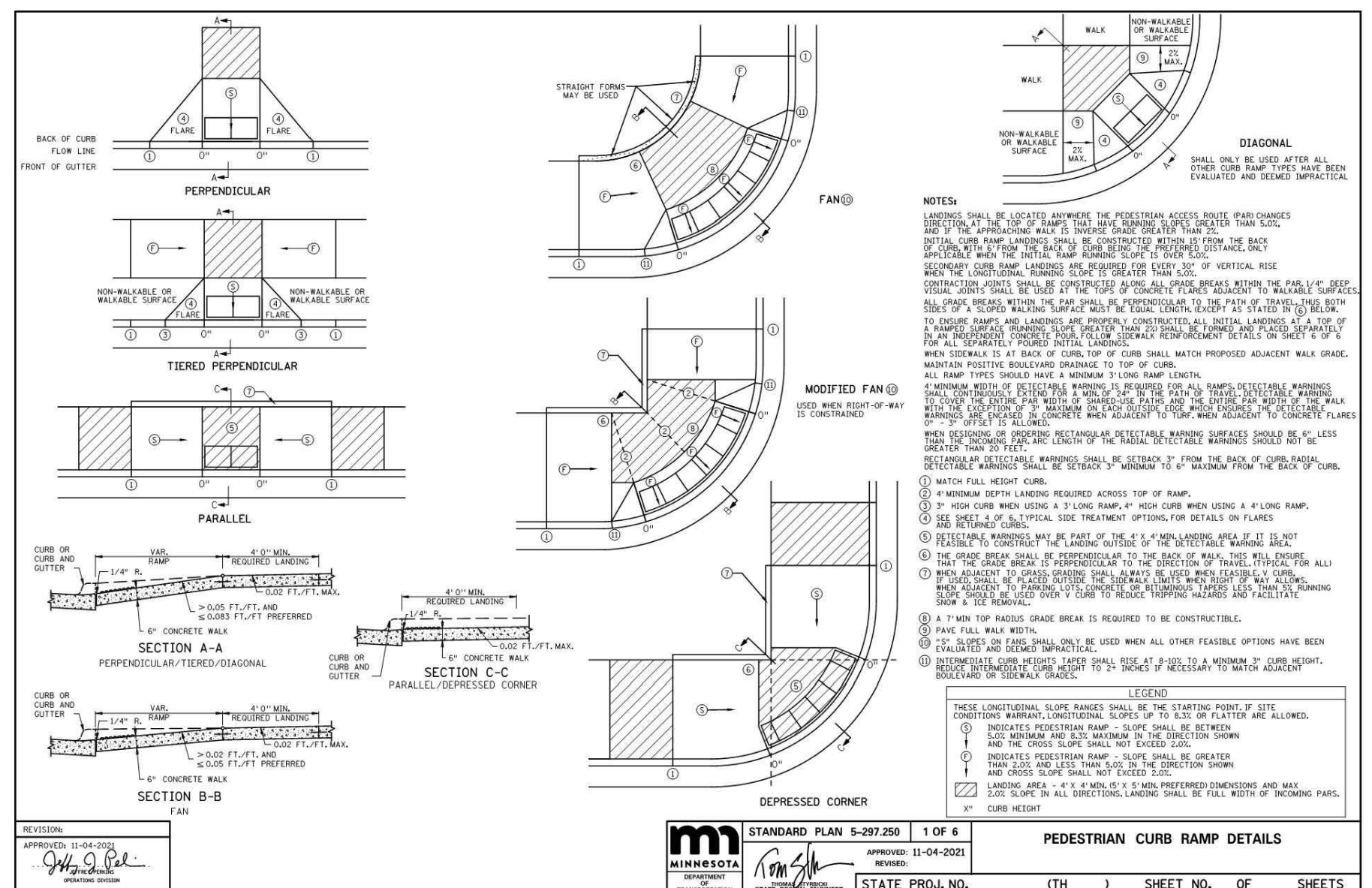
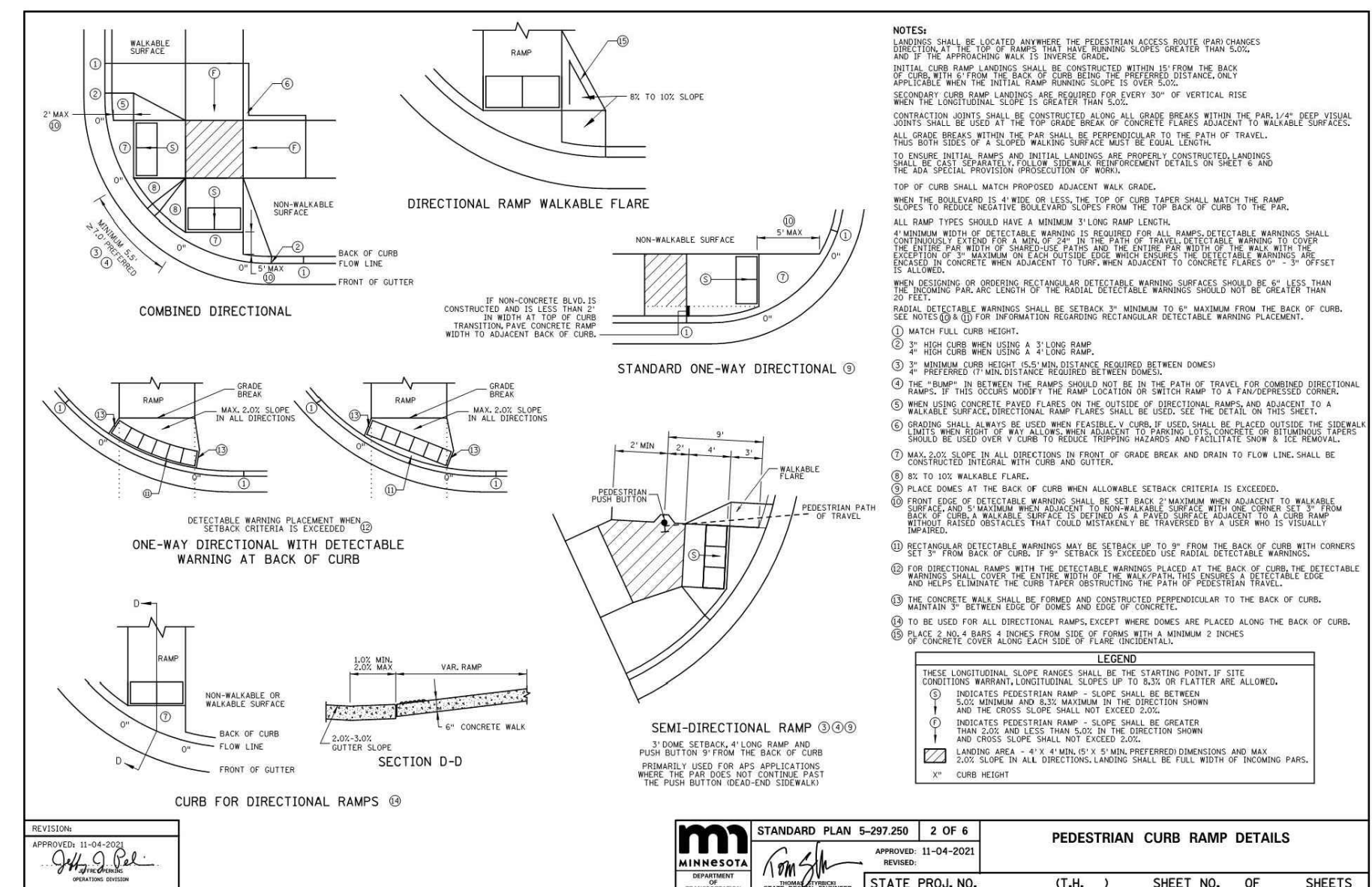
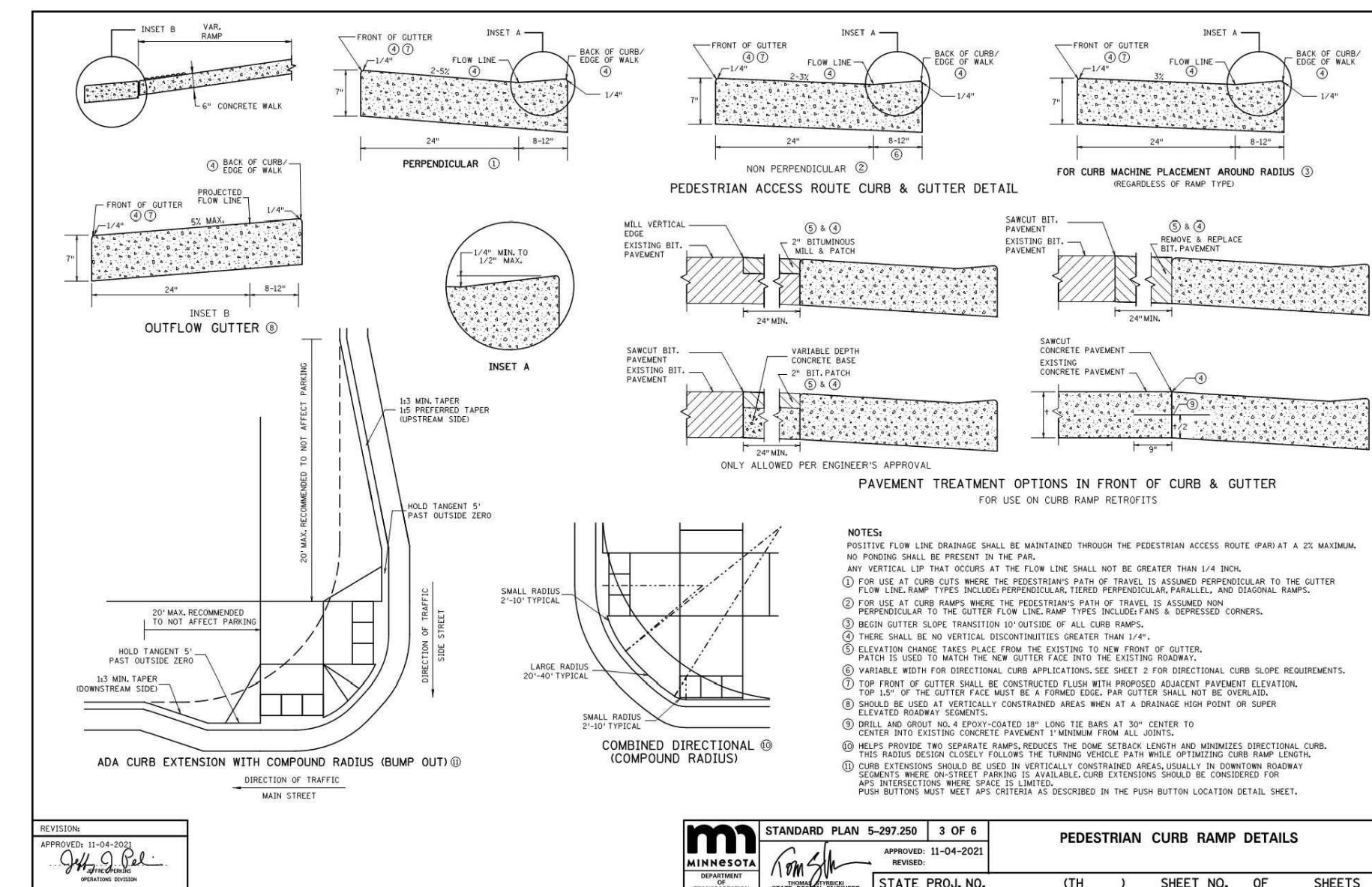
REVISION SUMMARY	
DATE	DESCRIPTION

DESIGNED BY	DK
REVIEWED BY	DK
PROJECT MANAGER	DK
PROJECT NUMBER	23128

REVISION SUMMARY	
DATE	DESCRIPTION

CIVIL DETAILS

C5.2



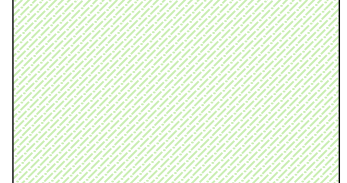
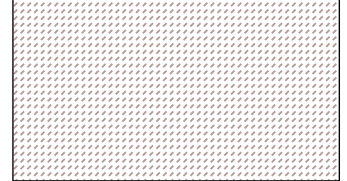
PLANT SCHEDULE

QTY	CODE	SCIENTIFIC NAME/COMMON NAME	SIZE	ROOT	REMARKS
(NOTE: ALL TREES TO HAVE STRAIGHT TRUNK & SINGLE LEADER)					
SHADE TREES					
3	CO	CELTIS OCCIDENTALIS	2.5" cal.	BB	SPACE 30' O.C.
HACKBERRY					
6	GT	GLEDTISIA TRIACANTHOS 'DRAVES'	2" CAL	BB	SPACE 25' O.C.
STREET KEEPER HONEYLOCUST					
6	TA	TILIA AMERICANA 'MCKSENTRY	2.5" cal.	BB	SPACE 20' O.C.
AMERICAN SENTRY LINDEN					
4	QM	QUERCUS MACROCARPA 'JFS-KW3'	2" CAL	BB	SPACE 25' O.C.
URBAN PINNACLE OAK					
UNDERSTORY TREES					
4	MA	MALUS 'ADIRONDACK'	2" CAL	BB	SPACE 15' O.C.
ADIRONDACK CRABAPPLE					
3	CC	CRATAEGUS CRUS-GALLI VAR. INERMIS	2" CAL	BB	SPACE 18' O.C.
THORNLESS HAWTHORN					
UPRIGHT EVERGREEN					
9	JS	JUNIPERUS SCOPULORUM 'MEDORA'	#7	CONT.	SPACE 4' O.C.
MEDORA JUNIPER					
SHRUBS [24" MIN. SHRUB SIZE AT TIME OF INSTALLATION]					
18	CS	CORNUS SERICEA 'BAILEY'	#5	CONT.	SPACE 6' O.C.
RED TWIG DOGWOOD					
17	CF	CORNUS SERICEA 'FIREDANCE'	#5	CONT.	SPACE 4' o.c.
FIREDANCE REDTWIG DOGWOOD					
25	JB	JUNIPERUS SABINA 'BROADMOOR'	#5	CONT.	SPACE 4' O.C.
BROADMOOR JUNIPER					
18	PF	POTENTILLA FRUTICOSA 'GOLDFINGER'	#5	CONT.	SPACE 4' O.C.
GOLDFINGER POTENTILLA					
28	SB	SPIREA BETULIFOLIA 'TOR'	#5	CONT.	SPACE 3.5' O.C.
TOR SPIREA					
10	SV	SYRINGA VULGARIS 'KRASAVITSA MOSKVY'	#5	CONT.	SPACE 6' O.C.
BEAUTY OF MOSCOW LILAC					
PERENNIALS					
37	AB	AMSONIA x 'BLUE ICE'	#1	CONT.	SPACE 2' O.C.
BLUE STAR AMSONIA					
44	HH	HEMEROCALLIS 'HAPPY RETURNS'	#1	CONT.	SPACE 2' O.C.
HAPPY RETURNS DAYLILY					
25	NF	NEPETA FAASSENII 'WALKER'S LOW'	#1	CONT.	SPACE 2.25' O.C.
WALKER'S LOW CATMINT					
36	SS	SCHIZACHRIUM SCOPARIUM 'MINNBLUE A'	#1	CONT.	SPACE 2.25' O.C.
BLUE HEAVEN LITTLE BLUESTEM					

NOTES:

- SEE SHEET L2 FOR PLANTING DETAILS & LANDSCAPE SPECIFICATIONS.
- ALL LANDSCAPING TO BE IRRIGATED. SEE SHEET L2 FOR IRRIGATION SPECS.
- CERTIFIED ARBORIST TO REVIEW AND REPORT ON HEALTH OF EX. TREES, AND PRUNE AS NEEDED TO MAINTAIN SITE SAFETY.
- PLANTING BEDS TO HAVE GOOD QUALITY LOOSE SOIL, SEE SHEET L2 FOR TREES, SHRUBS, & PERENNIALS SPECS.

KEY

 SOD
 PLANTING BEDS - SHREDDED HARDWOOD MULCH

LANDSCAPE REQUIREMENTS

ZONING: C - COMMERCIAL DISTRICT
LOT FRONTAGE: 538 LF
PARKING LOT AREA: 16,381 SF

LANDSCAPING REQUIREMENTS	UNIT	REQUIRED	ON THIS PLAN
1 DECIDUOUS OVERSTORY TREE FOR EVERY 30 LF OF LOT FRONTAGE. NOTE: EX. AND PROPOSED UTILITIES ON KENTUCKY AVE. SIDE, LIMITS ABILITY TO MEET REQUIREMENTS.	EA	18	10
PROVIDE SHRUBS ALONG BUILDING FOUNDATION VISIBLE FROM PUBLIC STREETS.			
PARKING LOT LANDSCAPING			
PROVIDE INTERIOR PARKING LOT LANDSCAPING EQUAL TO 10% OF PARKING LOT AREA. NOTE: THE GREENSPACE IN THE NE CORNER OF LOT, TO INSIDE EDGE OF DRAINAGE EASEMENT, IS INCLUDED IN THE CALC. OF WHAT IS PROVIDED.	SF	1,638	1,879
PROVIDE MIN. 36" HT. SHRUBS BETWEEN PARKING LOT AND STREET			
TREE SPECIES DIVERSITY			
MAX. % OF A SINGLE SPECIES OF TREES TO BE 35% OF 18	EA	6 OR LESS	6 OR LESS

NOTE:

- VERIFY THAT TREES AND SHRUBS CAN BE PLANTED IN THE DRAINAGE AND UTILITY EASEMENT, AND IN THE ELECTRIC TRANSMISSION LINE EASEMENT NOTED ON SURVEY.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
Name: Carmen Simonet

License # 24236

Signature: *Carmen Simonet*
Date: September 12, 2023

Drawing Date:
09.12.2023

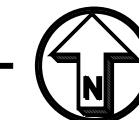
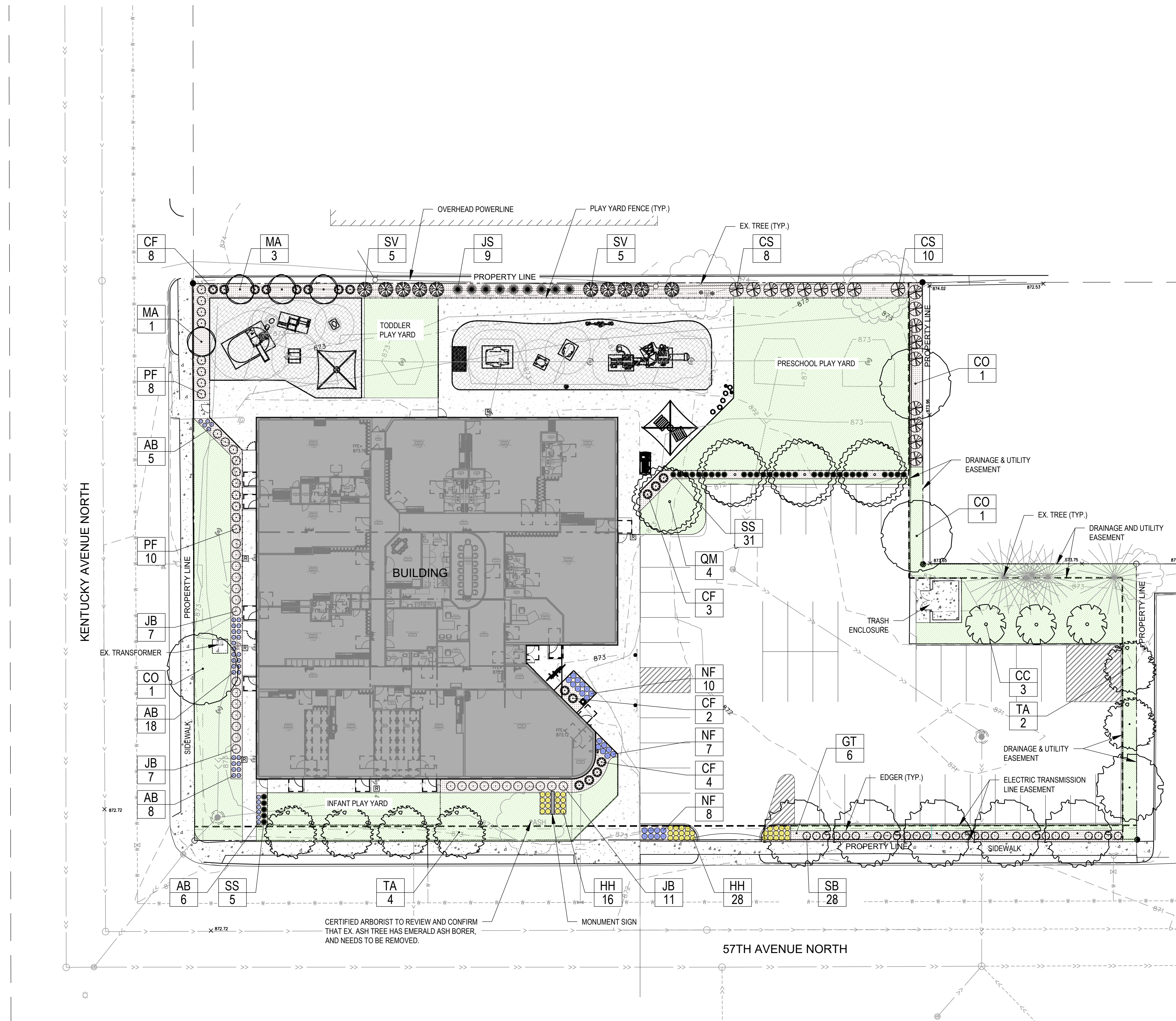
Drawing History/Revisions:

Project Architect:
A. PETER HILGER, AIA

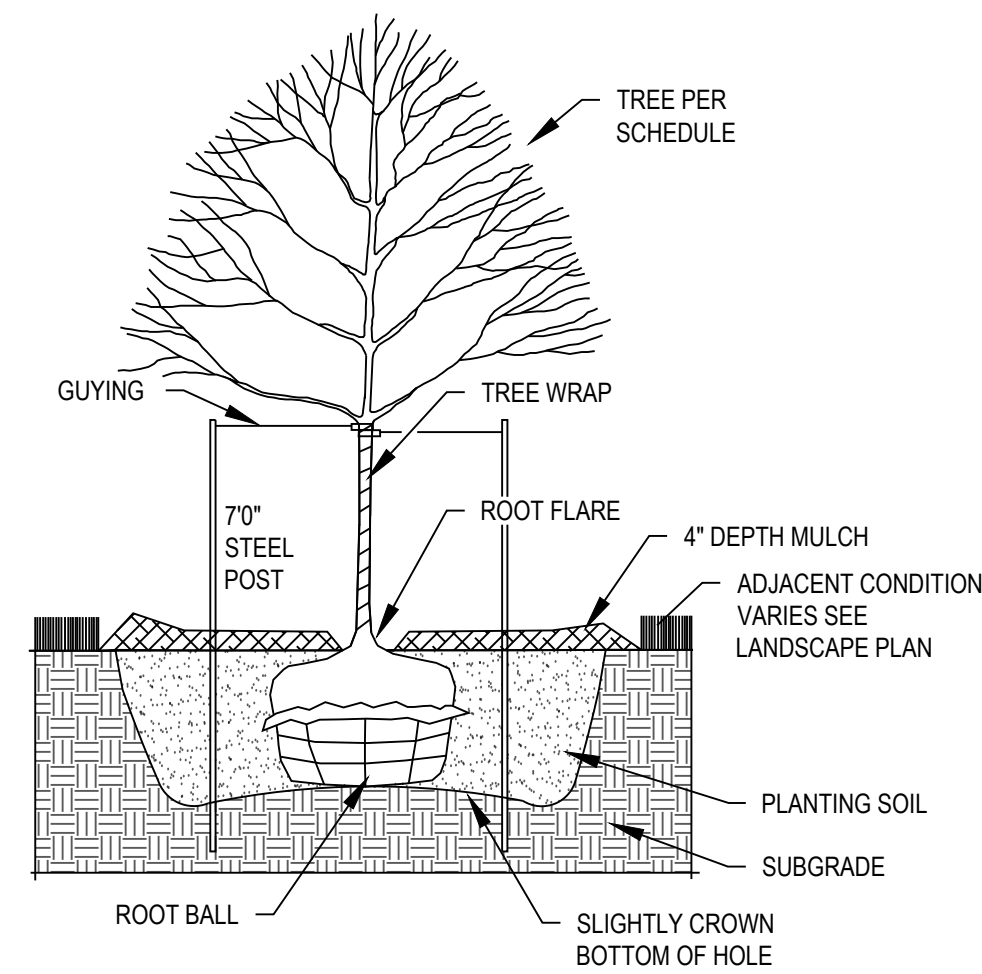
SHEET TITLE:
LANDSCAPE PLAN

Sheet No.:

L1



PLANTING DETAILS

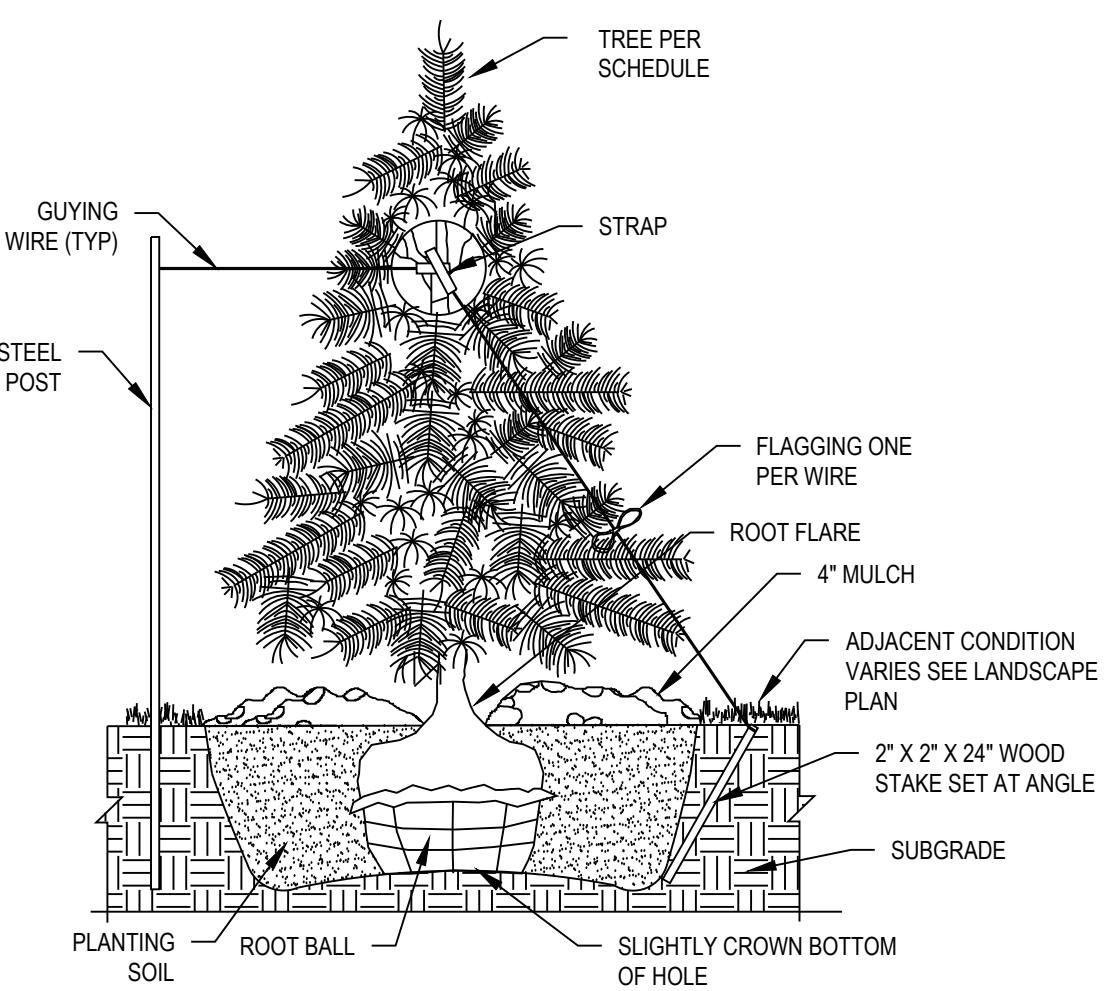


1 TREE PLANTING DETAIL

L2 NOT TO SCALE

NOTES:

1. REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE. DO NOT CUT THE LEADER.
2. WIDTH OF PLANTING HOLES: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
3. DEPTH OF HOLE: ROOT FLARE TO SIT AT, OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
4. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
5. SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY COMPACTED PLANTING SOIL.
6. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE.
7. REMOVE OR CORRECT STEM GIRDLING ROOTS.
8. SLIT REMAINING BURLAP AT 6" INTERVALS.
9. PLUMB & BACKFILL WITH PLANTING SOIL AMENDED WITH COMPOST. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
10. BACKFILL VOIDS AND WATER A SECOND TIME.
11. PLACE 4" MULCH WITHIN 48 HOURS OF THE SECOND WATERING. NO MULCH TO BE IN CONTACT W/ TRUNK.
12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. IF NEEDED, STAKE TREES USING 16" LONG, 1.5" WIDE STRAPS, AND ATTACH TO POST WITH WIRE. INSTALL POST 3" INTO GROUND. REMOVE WITHIN ONE YEAR.
13. WRAP TRUNK IN FALL REMOVE IN SPRING.
14. REFER TO SPECS. FOR ADDITIONAL INFORMATION.

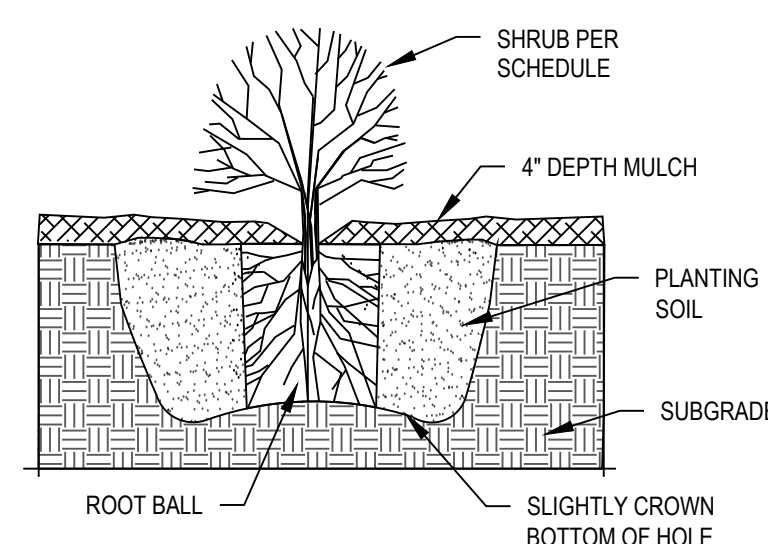


2 EVERGREEN TREE PLANTING DETAIL

L2 NOT TO SCALE

NOTES:

1. WIDTH OF PLANTING HOLE: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
2. DEPTH OF HOLE: ROOT FLARE TO SIT AT OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
3. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
4. SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY COMPACTED PLANTING SOIL.
6. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE.
7. REMOVE OR CORRECT STEM GIRDLING ROOTS OR REJECT PLANT.
8. SLIT REMAINING BURLAP AT 6" INTERVALS.
9. PLUMB & BACKFILL WITH PLANTING SOIL. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANT AND FILL VOIDS.
10. BACKFILL VOIDS AND WATER A SECOND TIME.
11. PLACE DOUBLE SHREDDED HARDWOOD MULCH WITHIN 48 HOURS OF THE SECOND WATERING. NO MULCH TO BE IN CONTACT W/ TRUNK OR BRANCHES.
12. TWO ALTERNATE METHODS OF STAKING TREES ARE ILLUSTRATED IN DETAIL.
13. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. STAKE TREES IF SITE CONDITIONS, SUCH AS SOIL AND WIND, PREVENT THE TREES FROM STAYING PLUMB. USE 16" X 1.5" POLYPROPYLENE OR POLYETHYLENE STRAPS, ATTACH TO POST OR STAKE WITH 10 GAUGE WIRE. REMOVE WITHIN ONE YEAR.
14. REFER TO PLAN AND SPECS. FOR ADDITIONAL INFORMATION.



3 SHRUB PLANTING DETAIL

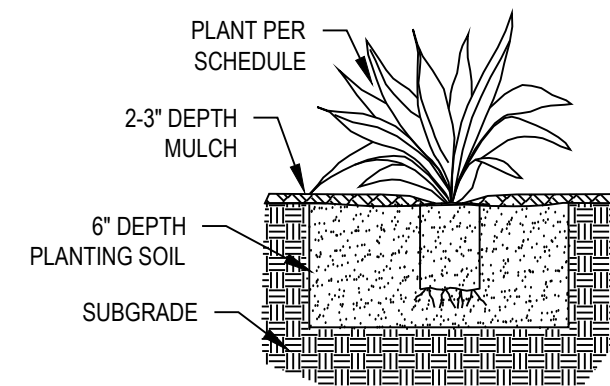
L2 NOT TO SCALE

NOTES:

1. DIG SHRUB HOLE 12" MIN. LARGER THAN CONTAINER SIZE, ALL SIDES.
2. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
3. REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE SHRUB.
4. HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL. SCORE OUTSIDE OF SOIL MASS TO REDIRECT CIRCLING FIBROUS ROOTS.
5. SET SHRUB ON UNDISTURBED SOIL OR ON THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE TOP OF ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE.
6. PLUMB AND BACKFILL WITH PLANTING SOIL AMENDED WITH COMPOST. THOROUGHLY WATER IN SHRUB PRIOR TO PLACING MULCH.
7. ALL SHRUB PLANTINGS RECEIVE 4" DEPTH MULCH.
8. REFER TO SPECS. FOR ADDITIONAL INFORMATION.

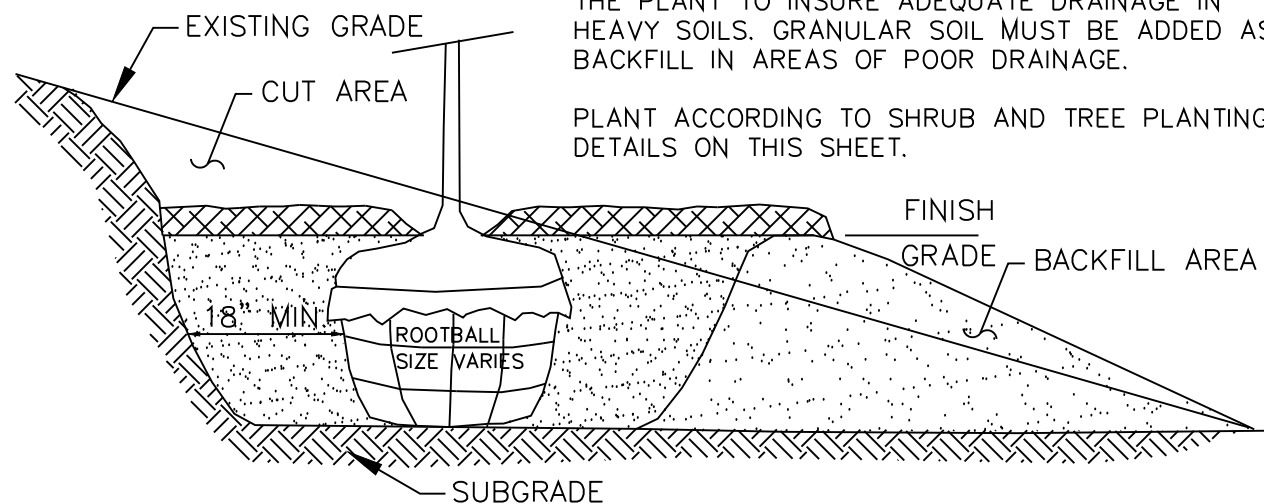
4 PERENNIAL PLANTING DETAIL

L2 NOT TO SCALE



NOTES:

1. PLANT INTO PREPARED PLANTING BED. REMOVE WEEDS, LOOSEN COMPACTED SOILS TO A DEPTH OF 6", AND AMEND PLANTING SOIL WITH COMPOST.
2. PLANT AT SAME DEPTH AS IN CONTAINER.
3. PLACE DOUBLE SHREDDED HARDWOOD MULCH OVER PERENNIAL BED. DO NOT PLACE ANY MULCH ON VEGETATION.
4. THOROUGHLY WATER IN PLANTS.
5. REFER TO PLAN AND SPECS. FOR ADDITIONAL INFORMATION.



5 PLANTING ON A SLOPE DETAIL

L2 NOT TO SCALE

LANDSCAPE SPECIFICATIONS

TREES, SHRUBS, AND PERENNIALS

1. REFERENCES

- A. MnDOT - Minnesota Department of Transportation, Standard Specifications for Construction, 2020 Edition.
- B. American Standard for Nursery Stock, ANSI Z60.1-2014.
- C. ASTM, American Society for Testing and Materials.

2. QUALITY ASSURANCE

- A. Work shall be performed by a landscape contractor with extensive horticulture knowledge, and a min. of 3 years of experience.
- B. Handle plants in such a way as to protect from damage either physical or by exposure to sun and wind. Mishandled plants are subject to rejection by Landscape Architect.
- C. Plants used on this project shall meet the grading standards recommended by the ANSI Z60.1-2014.

3. PRODUCTS

- A. Plants: Provide as specified on Plant Schedule.
- B. Edging: Heavy duty poly edger: 5" depth w/ v-lip to prevent frost heave, and steel stakes, black color, Sure-loc Elite-Edge or equal.
- C. Mulch: Double shredded hardwood mulch.
- D. Water: Contractor to provide.
- E. Planting Soil: rich friable, loam topsoil, free of debris and seeds, conforming to MnDOT 3877.2, Loam Topsoil Borrow.
- F. Compost: Conforming to MnDOT 3890.2, Grade 2.
- G. Tree Wrap: Two-ply weather resistant paper product.

4. PLANTING DATES: Spring Planting: Apr. 1 - June 15. These dates may be extended if daytime temps. remain below 80 degrees. Fall: Sept. 30 - Oct. 30th. Daytime temps. need to drop below 80 degrees before planting begins, and may continue until freeze up. Coniferous trees Aug. 15 - Oct. 1st. Plant under favorable weather conditions, do not plant during days of extreme heat.

5. EXECUTION

- A. Prior to digging, Contractor to have utilities located.
- B. Contractor to notify Owner and Landscape Architect 3 days in advance of when planting work will occur.
- C. Plant into prepared planting beds.
- D. Install trees, shrubs, and perennials per planting details, adjust location if in conflict with utilities. Verify new location with Landscape Architect prior to planting.
- E. Separate all shrub and perennial beds from sod areas with edger.
- F. Clean-up entire site following planting operations.

6. ACCEPTANCE OF PLANTING WORK

- A. Contractor to notify Owner when planting work is complete for review and punch list.
- B. Contractor to water and maintain the trees, shrubs, and perennials until Owner Acceptance.
- C. Owner will give Acceptance of Work following satisfactory correction of punch list items.
- D. Watering and regular landscape maintenance of trees, shrubs, and perennials will be Owners responsibility following acceptance of work.

7. GUARANTEE PERIOD

- A. Contractor to warranty trees, shrubs and perennials for one year following acceptance of Work by Owner.
- B. Contractor to maintain the trees in a plumb position throughout the guarantee period.
- C. Contractor to remove all staking/wiring/ straps and plant tags from trees at the end of the guarantee period.
- D. Replacements: At the end of the guarantee period, all plants which are unhealthy, dead, not having a normal density, size, shape or color shall be replaced. Replacements shall match caliper and/or height of the other plants at time of replacement. Selection of replacement material and installation practices shall follow the requirements of the Drawings and Specifications.

SODDING

1. AREAS TO SOD

- A. Sod areas as shown on plan

2. REFERENCES

- A. MnDOT - Minnesota Department of Transportation, Standard Specifications for Construction, 2020 Edition.

3. PRODUCTS

- A. Sod: Provide drought tolerant, strongly rooted sod, machine cut to pad thickness of 1", excluding top growth and thatch. Sod to be at least 2 years old, free of weeds, disease, or other material which might be detrimental to the development of the sod. Sod to be moist when cut and maintained in moist condition during transportation and storage at the site. Do not use sod that shows signs of visible heating on this project.
- B. Fertilizer: Slow release 5-10-5 starter fertilizer.
- C. Water: Contractor to provide.
- D. Topsoil: provide rich friable, sandy loam, free of debris and seeds, and conforming to MnDOT 3877.2 Common Topsoil Borrow.

4. SOIL PREPARATION

- A. Verify all sod areas have a minimum of 4" of topsoil.
- B. Immediately prior to sodding, loosen topsoil to minimum depth of 3".
- C. On slopes operate cultivating equipment at right angles to the direction of surface drainage.
- D. Contractor to work all areas to receive sod until the soil is smooth and an even grade is established. Fill all holes, depressions and rivulets to ensure an even grade and that proper elevation is established. Fill material shall be compacted sufficiently to provide uniform density and to resist erosion. Remove all rubble, sticks, branches, stones and other extraneous material over 1/2" in diameter on the surface prior to sodding.
- E. For all areas to be sodded work in dry, free flowing slow release starter fertilizer into the top 1 inch of soil.

5. EXECUTION

- A. Install sod during favorable weather, do not sod if ground is frozen or sod is dormant.
- B. Lay sod with tightly fitting joints, no overlapping joints, and stagger rows to offset joints. Anchor sod on slopes to prevent slippage.
- C. Thoroughly water sod immediately after installing. Continue watering at frequency necessary to initiate rooting, and until the work is accepted by Owner.
- D. Clean up and remove all debris resulting from sodding activity and dispose of properly. Restore all areas disturbed by sodding operation to their original condition.

6. ACCEPTANCE OF SOD WORK

- A. Contractor to notify Owner when sod work is complete for review and punch list.
- B. Owner to accept work following satisfactory correction of punch list items.
- C. Contractor will maintain all turf areas in a healthy, growing condition by watering, mowing, and any other maintenance necessary to establish the lawn, for a minimum of 30 days from time of acceptance.
- D. Any sod that does not show definite growth and establishment during the 30 days from time of acceptance, shall be replaced and established at the proper season by the Contractor at Contractor's expense.

IRRIGATION

1. DESCRIPTION

- A. Work includes: design, furnish, and install complete, fully automatic and programmable underground irrigation system, capable of alternate date watering for all landscape areas. The system shall provide full coverage with uniform levels of total precipitation throughout all irrigated areas.
- B. The system is to include water efficient technologies including: a WaterSense labeled controller, a flow meter, soil moisture and/or evapotranspiration (ET) sensors, a rain sensor, and be calibrated to meet all applicable City Codes.
- C. Dripline to be used in perennial and shrub beds not covered by lawn sprinklers.
- D. The system is to meet state department of health standards and have a backflow preventer.
- E. Materials, equipment, and methods of design and installation shall comply with, but not be limited to, the following codes and standards:
 - All local and state laws and ordinances, and with all the established codes applicable thereto.
 - National Electrical Code.
 - American Society for Testing and Materials (ASTM).
 - National Sanitation Foundation (NSF).
 - The best management practices developed by the Irrigation Association.
- F. The designer shall provide balanced pressure and flow and optimum operating efficiency.
- G. The contractor is responsible for obtaining all permits and licenses required for installation of irrigation system.

2. QUALITY ASSURANCE

- A. The irrigation system shall be designed and installed by a contractor specializing in irrigation work, and will have a minimum of 5 years of experience designing and installing systems of similar scope and size.
- B. The contractor shall maintain a skilled foreman on site during the installation of all work and the foreman will have a Minnesota Power Limited Technician License.

3. SUBMITTALS

- A. Shop Drawings: submit irrigation plan, product schedule, and specifications for review and acceptance.
- B. Operation and Maintenance Manual: following completion of work, provide the Owner with an operation and maintenance manual of the complete system in a digital pdf file format and one hard copy.
- C. As-Built Plan: following completion of work, contractor to furnish Owner a scaled as-built irrigation map, with dimensions as needed, on durable paper or laminated to be mounted on wall with the main control panel and a digital file in pdf format. The map shall indicate the zones, location of all controls, piping and depths, heads (including type), drip-lines, valves, connection to water service, and other related components.

4. PRODUCTS

- A. Select products suitable to the landscape areas.
- B. All products and materials used in the system shall be new and professional grade.
- C. Provide sprinkler heads, driplines, electric valves, and automatic controller from one manufacturer: Toro, Rainbird, Hunter Industries, or equal.

5. EXECUTION

- A. Prior to digging, contractor to have utilities located.
- B. Water Coverage: Provide uniform water coverage over turf areas and planting beds.
- C. Turf: Turf areas to be irrigated with spray heads. Locate heads to avoid overspray onto sidewalks, parking areas, signs and buildings.
- D. Planting Beds: All continuous shrubs, trees, perennial beds to be irrigated with a drip system and spray heads where drip lines are impractical.
- E. Winterization: System to accommodate winterization by blowing system dry with compressed air.
- F. Install the irrigation system per contractor's plan and specifications.
- G. Instructions: Contractor to instruct the Owner in proper operation and maintenance of the system.
- H. Cleanup: Replace landscaping disturbed by operations. Cleanup all debris and restore site to original condition.

6. REVIEW AND ACCEPTANCE

- A. Contractor to test system to a hydrostatic pressure of not less than 100 psi. Remove and replace any components that do not pass test.
- B. Contractor to contact Owner and perform operational test after system is fully in place and demonstrate to the Owner that the irrigation system meets coverage requirements and that automatic controls function properly. Any corrective work identified shall be completed within two weeks of receipt of comments.

- C. Owner to accept work following: satisfactory completion of any corrective work, receiving hands-on instructions for operation, and receiving as-built plan and operation and maintenance manual submittals.

7. MAINTENANCE

- A. Contractor to drain and winterize irrigation system in the fall, following first year of operation, and shall put the system back in service the following spring as part of the work of this contract at no additional cost to the Owner.

8. GUARANTEE

- A. Warranty irrigation system materials and labor for one year following acceptance of work by Owner. Contractor to promptly furnish and install, at no cost to Owner, any parts that prove defective in material or workmanship.

PROJECT INFORMATION:

NEW HORIZON ACADEMY
7000 57th AVENUE NORTH
CRYSTAL, MN 55428

CLIENT INFORMATION:

NEW HORIZON ACADEMY
3405 ANNAPOLIS LANE N.
PLYMOUTH, MN 55447

LANDSCAPE ARCHITECT:

Carmen Simonet Design LLC
354 Stonebridge Blvd.
St. Paul, MN 55105
(651) 695-0273
carmen@simonetdesign.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
Name: Carmen Simonet

License # 24236

Signature: *Carmen Simonet*

Date **September 12, 2023**

Drawing Date:

09.12.2023

Drawing History/Revisions:

Project Architect:

A. PETER HILGER, AIA

SHEET TITLE:
**LANDSCAPE
DETAILS & NOTES**

Sheet No.:

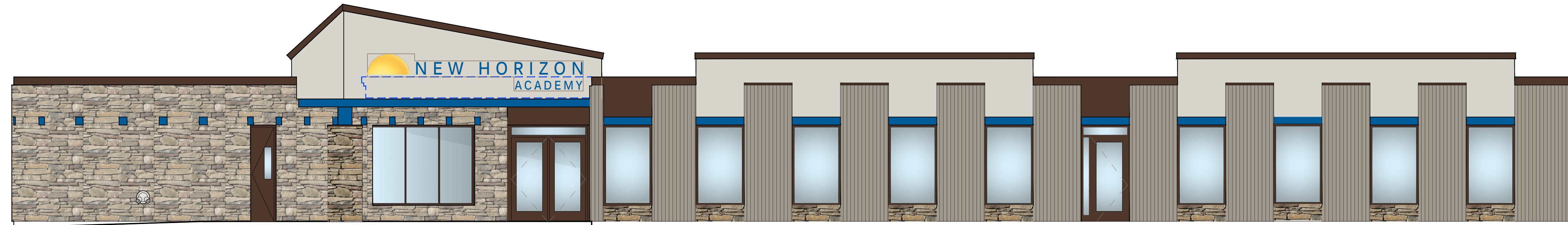
L2

PROJECT INFORMATION:

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7000 57th AVENUE NORTH
CRYSTAL, MN 55428

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PLYMOUTH, MN 55447



SHEET INDEX	
Architectural Sheets	Site Lighting Sheet
G000 COVER SHEET	E0.1 SITE PHOTOMETRIC CALCS
Civil Sheets	E0.2 SITE PHOTOMETRIC LIGHTING SHEETS
V1.0 TITLE SURVEY	
C0.1 TITLE SHEET	Landscaping Sheets
C1.0 REMOVALS PLAN	L1 LANDSCAPE PLAN
C2.0 SITE PLAN	L2 LANDSCAPE DETAILS & NOTES
C3.0 GRADING PLAN	Architectural Sheets
C4.0 UTILITY PLAN	A001 SITE PLAN
C5.0 CIVIL DETAILS	A101 FLOOR PLAN
C5.1 CIVIL DETAILS	D101 DEMO PLAN
C5.2 CIVIL DETAILS	A101 FLOOR PLAN
SW1.0 SWPPP - EXISTING CONDITIONS	A120 ROOF PLAN
SW1.1 SWPPP - PROPOSED CONDITIONS	A201 BUILDING SECTION
SW1.2 SWPPP - DETAILS	A301 BUILDING SECTION w/SIGHTLINE STUDY
SW1.3 SWPPP - NARRATIVE	

CONSULTANT INDEX	
Client	Architect
NEW HORIZON ACADEMY HEIDI PROSS 3405 ANNAPOLIS LANE NORTH SUITE 100 PLYMOUTH, MN 55447 P: 763-383-6216 Email: hpross@nhacademy.net	RYLAUR, LLC A. PETER HILGER, AIA 14 PHEASANT LANE NORTH OAKS, MN 55127 P: 612-868-3636 Email: philger@rylaur.com
Civil Engineer	Landscape Design
CIVIL SITE GROUP DAVID KNAEBLE 5000 GLENWOOD AVENUE GOLDEN VALLEY, MN 55422 P: 763-234-7523 Email: dknaeble@civilsitegroup.com	SIMONET DESIGN CARMEN SIMONET, PLA P: 651-695-0273 Email: carmen@simonetdesign.com
Site Lighting	
STEEN ENGINEERING, INC. JOHN ALSETH P: 763-235-4796 Email: johna@steeneng.com	



7000 57th AVENUE N.
CRYSTAL, MN 55428

CITY SUBMITTAL 9.12.23

PROPOSED OCCUPANT LOAD ANALYSIS						
TOTAL BUILDING	OCCUPANT LOAD BASED ON IBC				OCCUPANT LOAD & CODE ANALYSIS FOOTNOTES:	
ROOM NAME & NUMBER (1)	NET SQ. FT. AREA (2)(3)	FACTOR (3)	CHILDREN TOTAL	STAFF TOTAL (4)	OPERATIONAL OCC. LOAD (6)	(1) PER MN RULES 9503.0005 DEFINITIONS AND 9503.0040 SUBP. 4(A):
INFANT 1	446	1/35	12	3	15	- INFANT: 6 WEEKS TO 18 MONTHS
INFANT 2	447	1/35	12	3	15	- TODDLER: 16 MONTHS TO 35 MONTHS
INFANT 3	518	1/35	12	3	15	- PRESCHOOL: 31 MONTHS TO KINDERGARTEN
TODDLER TRANSITION	638	1/35	14	2	16	(2) EXCLUDES CRIB ROOMS, TOILET ROOMS, STORAGE ROOMS, STAFF & PREP ROOMS BASED ON SAME OCCUPANCY USING THESE SUPPORTING SPACES, AND NET OF CABINETS AND FIXTURES IN ACCORDANCE WITH MN RULE 9503.0155 SUBP. 9.
TODDLER 1	639	1/35	14	2	16	
TODDLER 2	663	1/35	14	2	16	
TODDLER 3	854	1/35	21	3	24	
PRESCHOOL 1	755	1/35	20	2	22	
PRESCHOOL 2	752	1/35	20	2	22	
PRESCHOOL 3	753	1/35	20	2	22	
PRESCHOOL 4	1171	1/35	30	3	33	
RECEPTION (5)	103	1/150	-	1	1 (Receptionist)	(3) LOAD FACTOR PER IBC TABLE 1004.1.2 IS BASED ON NET AREA OF INDOOR SPACE PER CHILD IN ACCORDANCE WITH MN RULE 9503.0155 SUBP. 9, PLUS REQUIRED STAFF PER AGE GROUP.
DIRECTOR OFFICE (5)	138	1/150	-	1	1 (Director)	
KITCHEN (5)	313	1/200	-	-	1 (not FTE)	
CONFERENCE R. (5)	241 net	1/15	-	-	-	
TOTAL LICENSING OCCUPANT LOAD	8,404 SF		189	29	219 Licensed Occupants	(4) PER MN RULES 9503.0040, SUBP. 1: - STAFF/CHILD RATIOS ARE AS FOLLOWS: - INFANT: 1:4 PER 8 CHILDREN GROUP SIZE - TODDLER: 1:7 PER 10 CHILDREN GROUP SIZE - PRESCHOOL: 1:10 PER 18 CHILDREN GROUP SIZE
LARGE MOTOR GYM "LMR" (Accessory)	1287 SF	1/35	36			
TOTAL MSBC EXITING OCCUPANT LOAD:	As shown on Life Safety Plan = 148 Occupants					
OTHER REQUIREMENTS:						
PER IBC TABLE 803.13 IN SPRINKLERED BUILDINGS EXIT WAYS & CHILDREN'S ROOM TO HAVE CLASS B FINISHES. (I-4)						
PER IBC TABLE 1017.2 IN SPRINKLERED BUILDINGS, TRAVEL DISTANCE FROM ANY ROOM LOCATION SHALL BE MAXIMUM 200 FEET FOR OCCUPANCY TYPE I-4.						
PER CHAPTER 9, FIRE ALARM SYSTEM REQUIRED AND PROVIDED.						
(6) TABULATION OF OCCUPANTS BASED ON ACTUAL OPERATIONAL STAFF EMPLOYEES AND CHILDREN. THIS RESULTS IS THE LICENSING CAPACITY FOR THE CENTER AND USED TO DETERMINE PARKING						
(7) TABULATION OF OCCUPANTS BASED ON IBC TABLE 1004.5 THESE RESULTS USED FOR PURPOSES OF LIFE SAFETY & EXITING SEE SHEET LSP1 & LSP2 FOR EXITING REQUIREMENTS						

CODE SUMMARY	
THIS SUMMARY BASED ON:	2020 MN STATE BUILDING CODE
USE GROUP CLASSIFICATIONS:	GROUP I-4 (MSBC 308.6)
PER MN RULES 1305.0308 (308.5) WHEN GREATER THAN 5 CHILDREN (I-4)	
CONSTRUCTION TYPE (SECTION 602.5):	TYPE VB SPRINKLERED
ALLOWABLE NUMBER OF STORIES:	1 + 1 per MSBC 504.2
ACTUAL NUMBER OF STORIES:	1 Story
LOCATION OF THIS SPACE:	At Grade
ACTUAL BUILDING AREA:	15,950 SF
ALLOWABLE AREA (TBL 503 & 506.3 Increase):	27,000 SF
OCCUPANCY SEPARATION (TABLE 508.4):	NONE
FIRE RESISTANCE RATING (TABLE 601):	NONE
FIRE RESISTANCE RATING (TABLE 602):	NONE
PARKING SUMMARY	
ZONING REQUIREMENT FOR DAYCARE FACILITY = Refer to Parking Analysis Report	
NUMBER OF STAFF = 29 OCCUPANTS	
NUMBER OF CHILDREN = 189 OCCUPANTS	
NUMBER OF PARKING STALLS = 43 STALLS PROVIDED	
BICYCLE PARKING SPOTS PROVIDED ON SITE	

A. PETER HILGER #15862

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Drawing Date:
09.12.2023

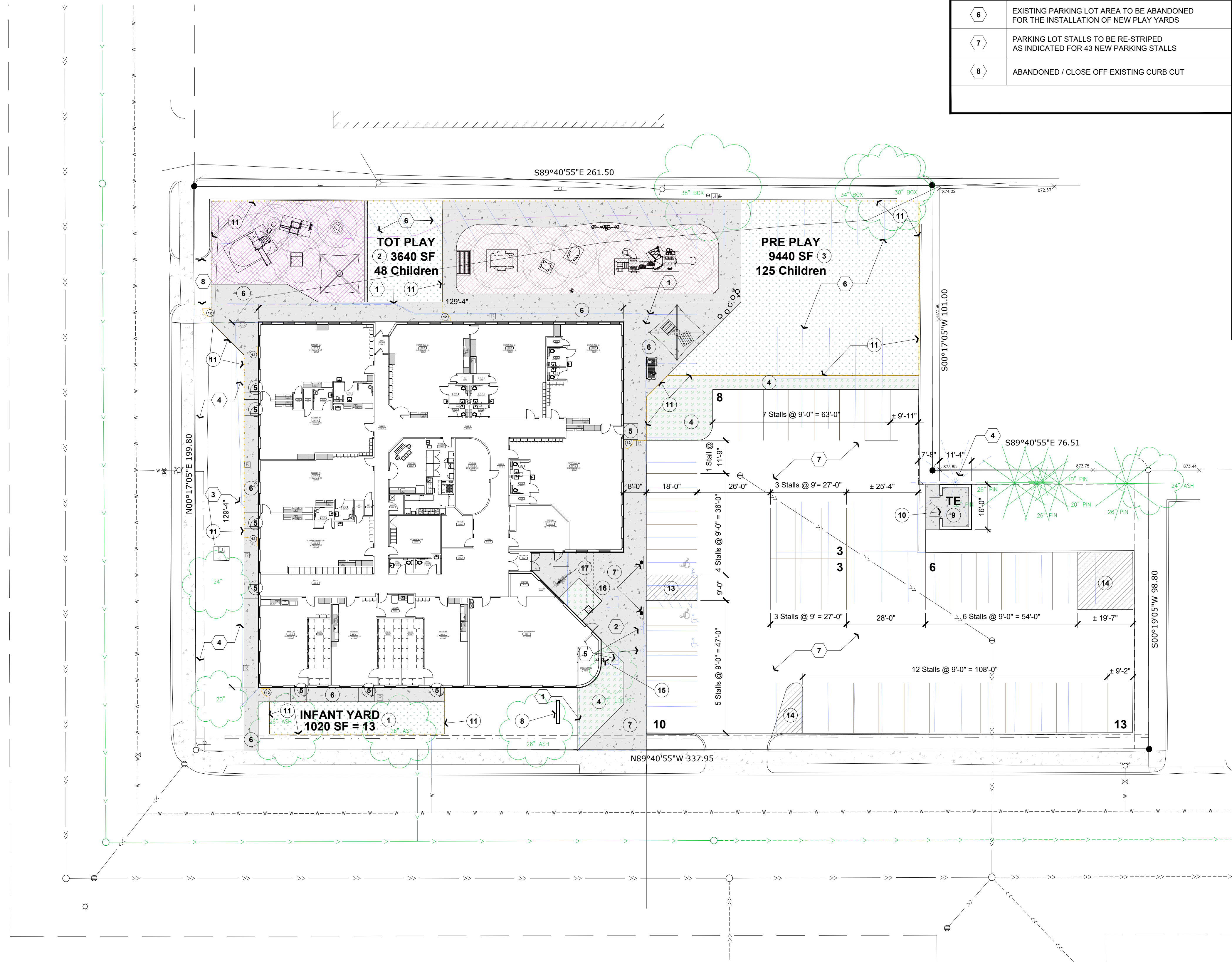
Drawing History/Revisions:

Project Architect:
A. PETER HILGER, AIA

Drawn By: VJH Checked By: APH

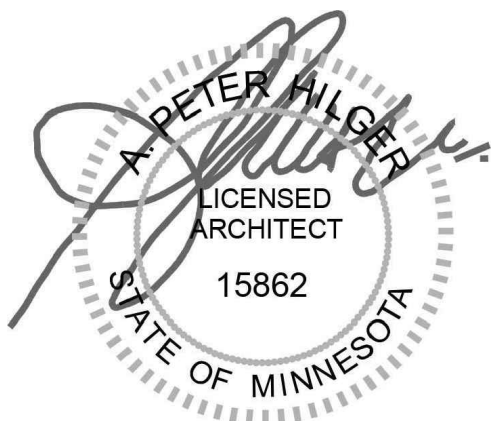
SHEET TITLE:
COVER SHEET

#	SITE DEMO KEYNOTES	#	SITE PLAN KEYNOTES
1	DEMOLISH ALL EXISTING PERIMETER CONC. SIDEWALKS	1	INFANT PLAY YARD w/NATURAL GRASS Entire Yard = 1020 sf @ 75 per child = 13 kids
2	DEMOLISH EXISTING FRONT ENTRY CONC.	2	TODDLER PLAY YARD w/FALLZONE MATERIAL Entire Yard = 3640 @ 75 sf per child = 48 kids
3	REMOVE EXISTING FENCE	3	PRESCHOOL PLAY YARD w/FALLZONE MATERIAL Entire Yard = 9440 sf @ 75 sf per child = 125 kids
4	REMOVE LANDSCAPING AS NEEDED	4	LANDSCAPE AREA
5	REMOVE DROP BOX & HC PARKING SIGNS	5	NEW EXIT DOOR & STOOP
6	EXISTING PARKING LOT AREA TO BE ABANDONED FOR THE INSTALLATION OF NEW PLAY YARDS	6	NEW CONC. SIDEWALK
7	PARKING LOT STALLS TO BE RE-STRIPED AS INDICATED FOR 43 NEW PARKING STALLS	7	NEW CONC. PLAZA
8	ABANDONED / CLOSE OFF EXISTING CURB CUT	8	EXISTING MONUMENT SIGN TO BE REFURISHED REPLACE ILLUMINATE SIGN BOX
		9	NEW OPEN AIR TRASH ENCLOSURE
		10	CONCRETE APRON & ENCLOSURE PAVEMENT PAD
		11	NEW YARD YARD FENCE
		12	NEW YARD YARD GATE w/POOL ALARM
		13	HANDICAP ACCESS ISLE
		14	STRIPE OFF PAVEMENT TO INDICATE NO PARKING ZONE
		15	NEW FIRE DEPARTMENT CONNECTION & KNOX BOX. INSTALL NEW FIRE LINE INTO BUILDING FOR NEW FIRE SPRINKLER SYSTEM
		16	HANDICAP PARKING SIGN
		17	BICYCLE RACK



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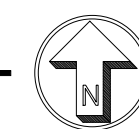
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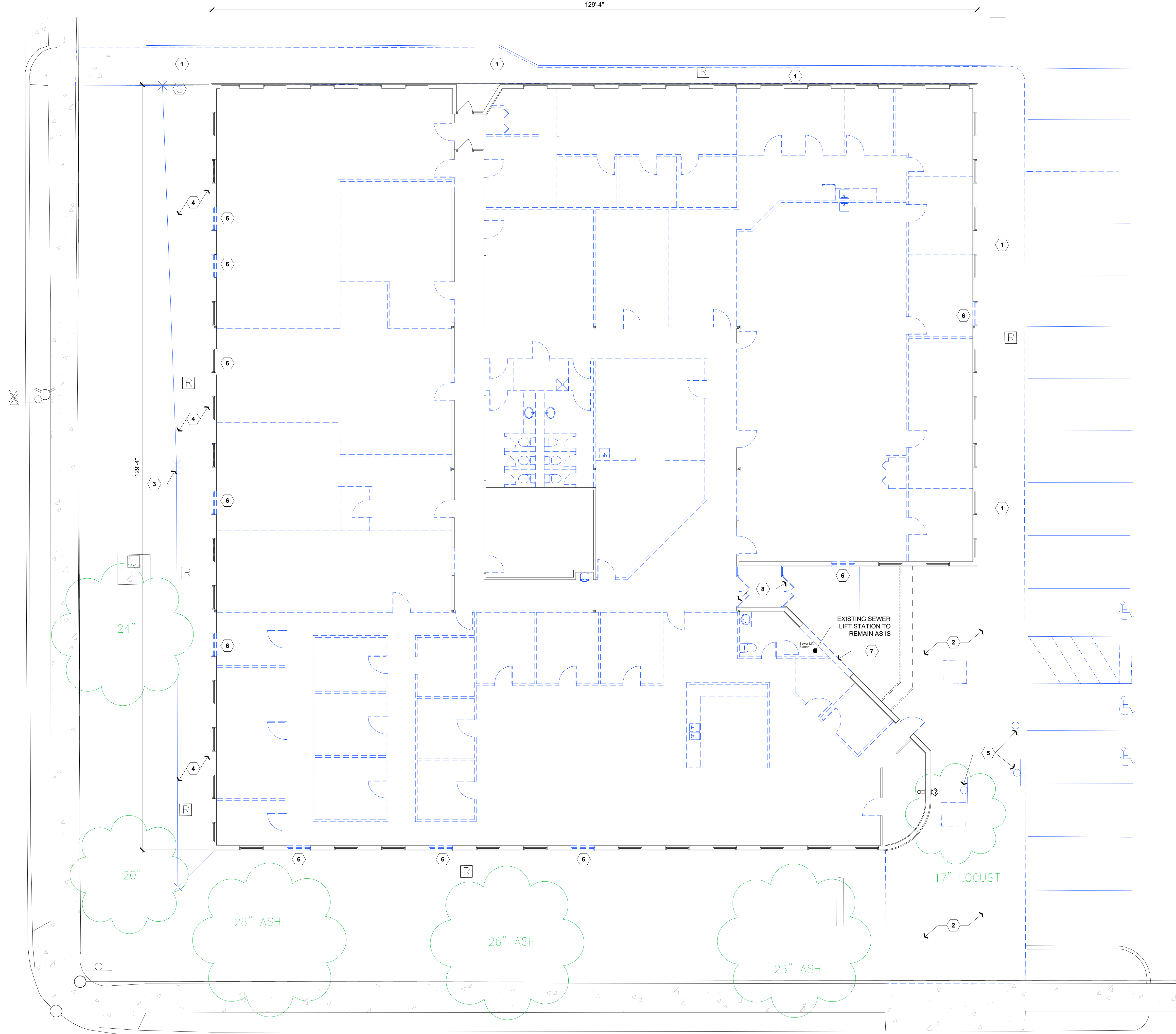
Drawn By:
VJH

Checked By:
APH

SHEET TITLE:
SITE PLAN



# DEMO PLAN KEYNOTES	
1	DEMOLISH ALL EXISTING PERIMETER CONC. SIDEWALKS
2	DEMOLISH EXISTING FRONT ENTRY CONC.
3	REMOVE EXISTING FENCE
4	REMOVE LANDSCAPING AS NEEDED
5	REMOVE DROP BOX & HC PARKING SIGNS
6	REMOVE WINDOW AND WALL BELOW SILL FOR THE INSTALLATION OF NEW EXIT DOOR
7	REMOVE EXISTING MASONRY KNOCK OUT WALL FOR THE INSTALLATION OF NEW STOREFRONT
8	REMOVE EXISTING ENTRY VESTIBULE DOORS FOR THE INSTALLATION OF NEW STOREFRONT



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Project Architect:
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VJH

Checked By:
APH

SHEET TITLE:
DEMO PLAN

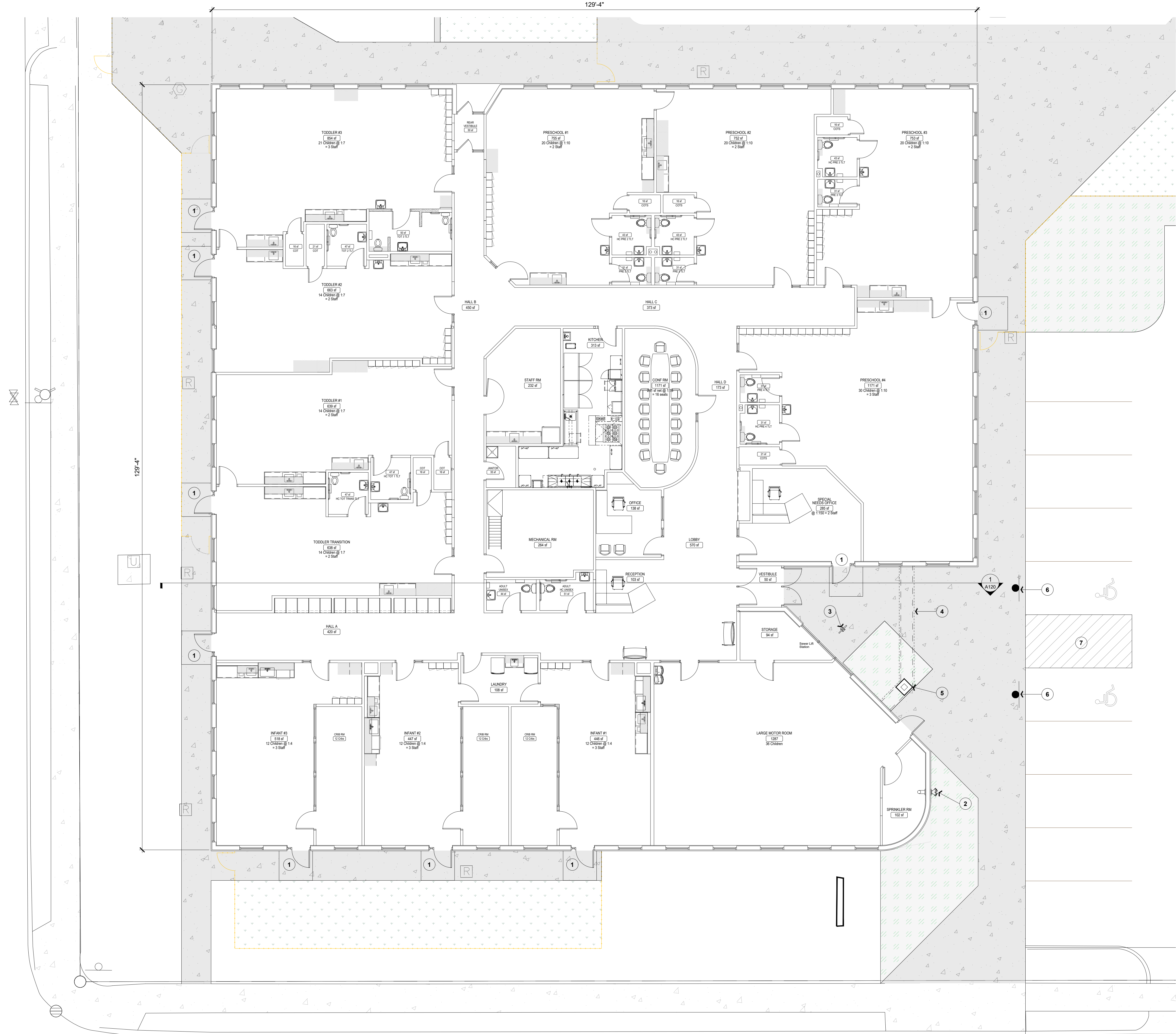


GENERAL NOTES

- A. NEW FIRE LINE SERVICE TO BE BROUGHT INTO BUILDING FOR THE INSTALLATION OF FIRE SPRINKLER SYSTEM

FLOOR PLAN KEYNOTES

1	MODIFY EXISTING OPENING FOR THE INSTALLATION OF NEW EXIT DOOR & INSTALL CONC. STOOP
2	NEW FIRE DEPARTMENT CONNECTION & KNOX BOX. INSTALL NEW FIRE LINE INTO BUILDING FOR NEW FIRE SPRINKLER SYSTEM
3	BIKE RACK
4	NEW CANOPY FACADE ABOVE
5	NEW CANOPY COLUMN
6	NEW HANDICAP PARKING SIGN Btm/Sign between 60" to 66" Above Pavement
7	NEW HANDICAP ACCESS AISLE
8	NEW HANDICAP ACCESS AISLE



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

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09.12.2023

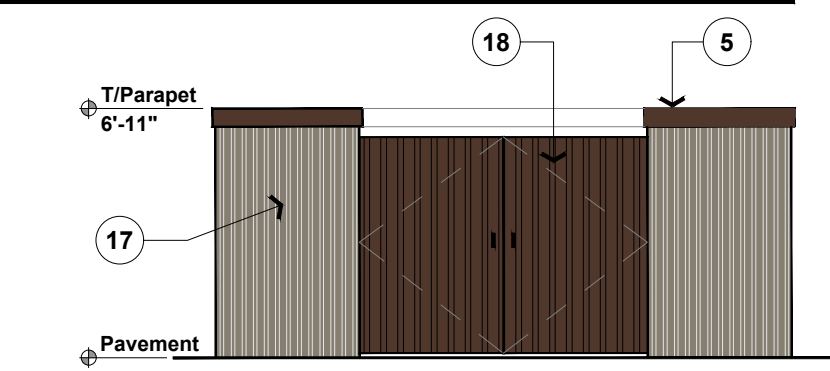
Drawing History/Revisions:

Project Architect:
A. PETER HILGER, AIA
Drawn By:
VJH

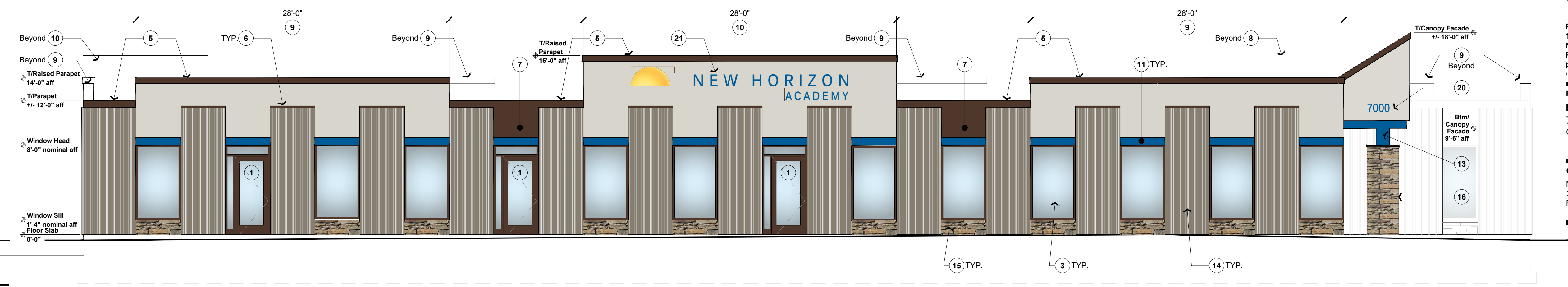
Checked By:
APH

SHEET TITLE:
FLOOR PLAN

- GENERAL NOTES**
- A. REPLACE ALL EXISTING WINDOWS w/NEW ALUMINUM STOREFRONT, COLOR #1
 - B. SEE PHOTOMETRIC DRAWING FOR EXTERIOR LIGHTING
 - C. SEE SHEET A120 FOR EXTERIOR MATERIAL FINISH LEGEND
 - D. SEE 1/A301 FOR RTU SIGHTLINE STUDY BUILDING SECTION



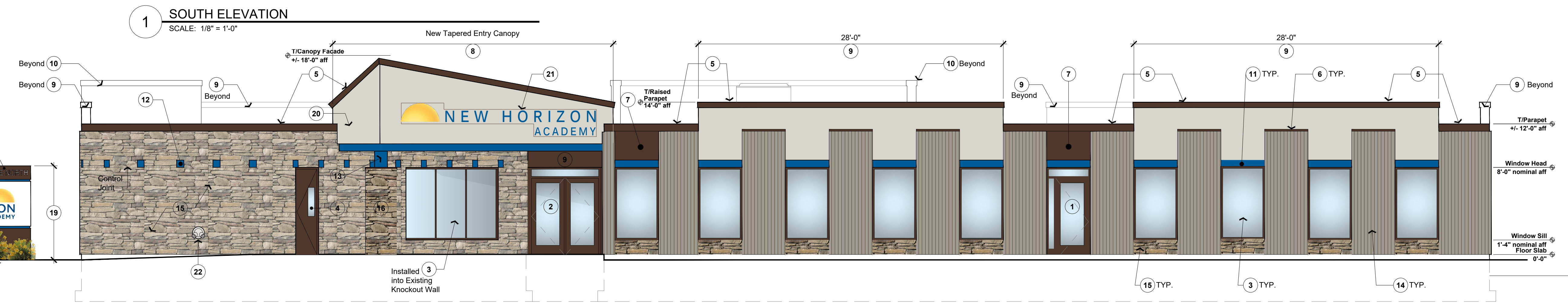
A TRASH ENCLOSURE ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

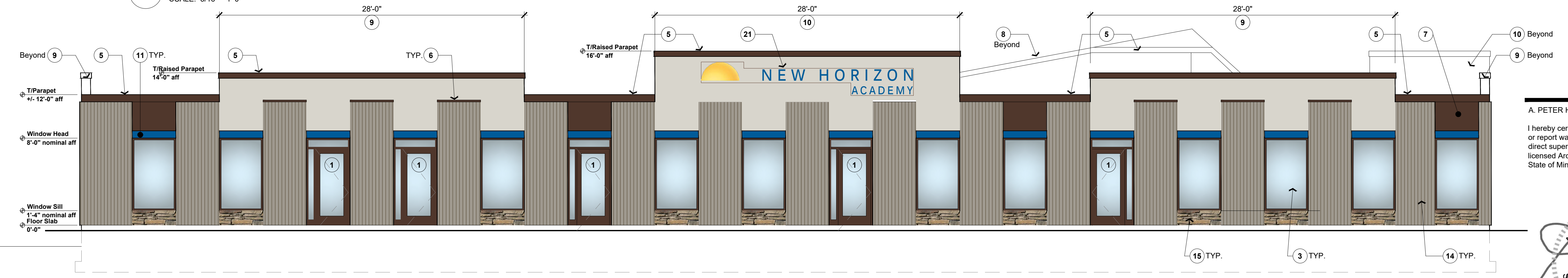
- NEW DARK BRONZE METAL TOPPER w/WHITE ADDRESS LETTERS
- NEW METAL ACCENT BAND, COLOR #3
- NEW ILLUMINATED SIGN BOX
- NEW METAL ACCENT BAND, COLOR #3
- METAL SIGN BASE
- NEW PLANTINGS AROUND BASE - SEE LANDSCAPE PLAN

B REFURBISHED MONUMENT SIGN
SCALE: 1/8" = 1'-0"

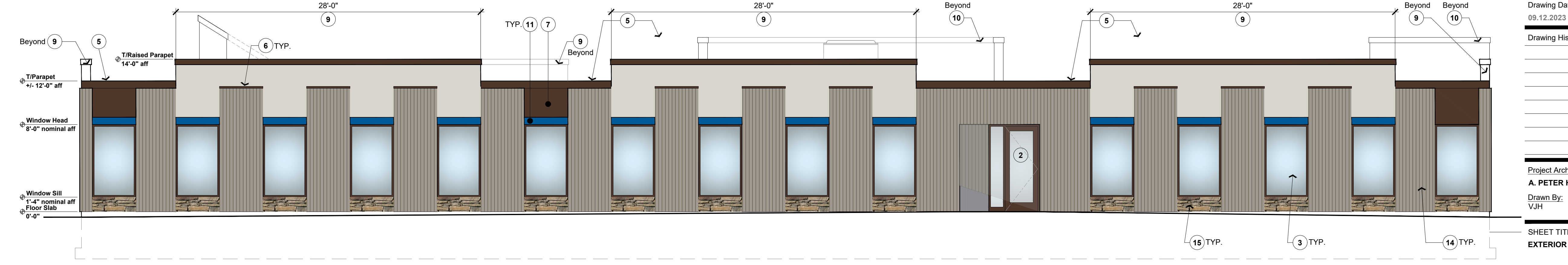


2 EAST ENTRANCE ELEVATION
SCALE: 3/16" = 1'-0"

#	ELEVATION KEYNOTES
1	NEW EXIT DOOR & STOOP w/NEW SURROUNDING CONC. SIDEWALK AT EXIT ELEVATION COLOR #1
2	NEW ALUMINUM STOREFRONT ENTRANCE DOORS COLOR #1
3	NEW ALUMINUM STOREFRONT WINDOW COLOR #1
4	NEW HOLLOW METAL SERVICE DOOR COLOR #1
5	NEW METAL PARAPET CAP FLASHING COLOR #1
6	NEW METAL CAP FLASHING OVER RIBBED PANEL COLOR #1
7	NEW METAL PANEL WALL FACADE COLOR #1
8	NEW EIFS CANOPY FACADE REMOVE EXISTING CANOPY STRUCTURE AS NEEDED COLOR #2
9	EXTENDED PARAPET w/NEW EIFS FACADE COLOR #2
10	EXTENDED PARAPET RTU SCREEN WALL w/NEW EIFS FACADE COLOR #2
11	NEW FURRED OUT METAL ACCENT BAND w/INTEGRAL FLASHING WINDOW HEAD FLASHING COLOR #3
12	NEW GLAZED ACCENT BLOCKS COLOR #3
13	NEW TUBE STEEL SUPPORT COLUMN COLOR #3
14	STAIN EXISTING RIBBED WALL PANELS COLOR #4
15	NEW MANUFACTURED STONE VENEER COLOR #5
16	NEW STONE PILLAR w/DARK BRONZE METAL CAP COLOR #5
17	NEW CMU TRASH ENCLOSURE w/STAINED RIBBED ROCKFACE BLOCK FACADE COLOR #4
18	TRASH ENCLOSURE COMPOSITE GATE DOORS COLOR #6
19	REFURBISH EXISTING MONUMENT SIGN w/NEW ILLUMINATED SIGN BOX
20	ADDRESS NUMBERS APPROX. 9" tall (t.b.d.)
21	EXTERIOR SIGN AT EAST MAIN BUILDING ENTRANCE 100 SF ALLOWED 35 SF SHOWN
22	NEW FIRE DEPARTMENT CONNECTION & KNOX BOX



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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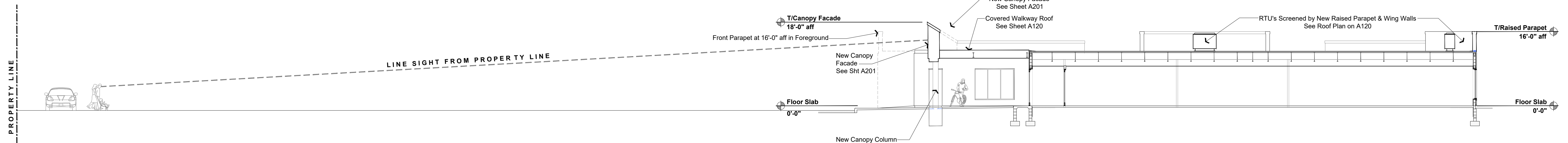
Drawing Date:
09.12.2023

Drawing History/Revisions:

No.	Description

Project Architect:
A. PETER HILGER, AIA
Checked By:
VJH APH

SHEET TITLE:
EXTERIOR ELEVATIONS



1 BUILDING SECTION WITH SIGHTLINE STUDY
SCALE: 3/32" = 1'-0"

A. PETER HILGER #15862
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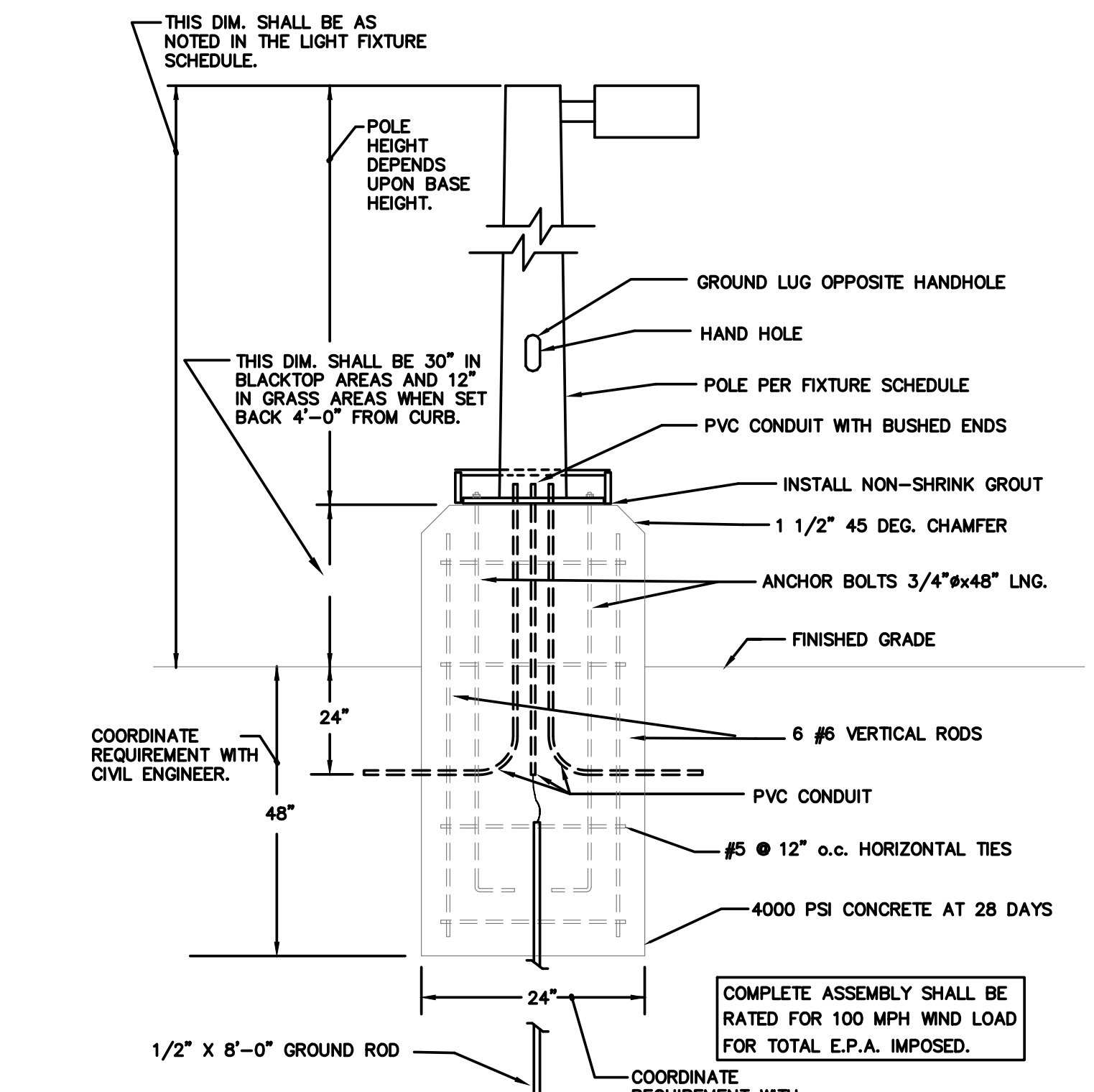
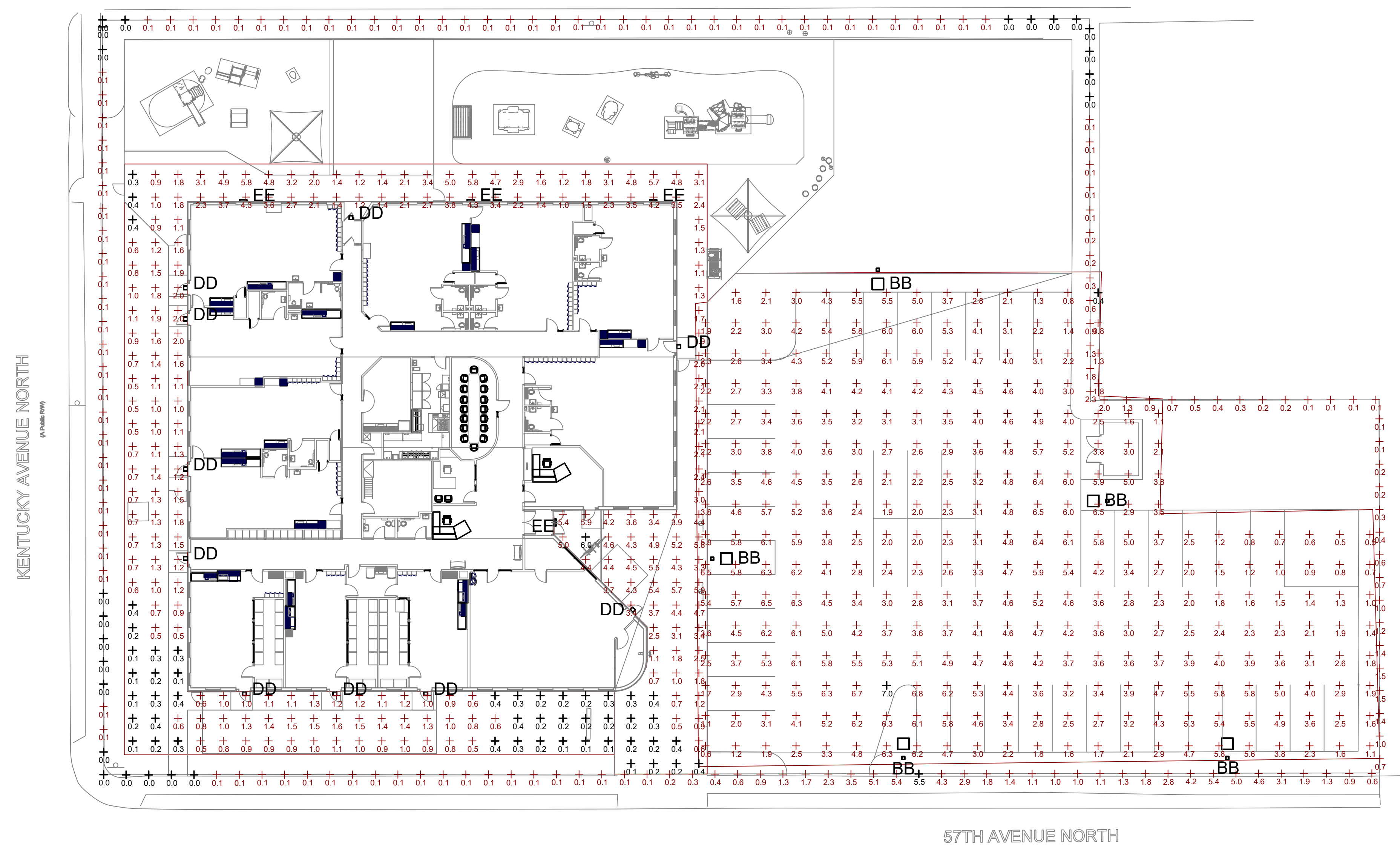
Drawing Date:
09.12.2023

Drawing History/Revisions:

No.	Description

Project Architect:
A. PETER HILGER, AIA
Drawn By: VJH
Checked By: APH

SHEET TITLE:
BUILDING SECTION w/SIGHTLINE STUDY



2 POLE BASE DETAIL
NO SCALE

NOTE: MOUNTING HEIGHT INCLUDES CONCRETE BASE

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BUILDING PERIMETER	+	1.8 fc	6.0 fc	0.1 fc	60.0:1	18.0:1
PARKING LOT	+	3.7 fc	7.0 fc	0.4 fc	17.5:1	9.3:1
PROPERTY LINE	+	0.6 fc	5.5 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Mounting Height (FT)	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	BB	20	5	LSI INDUSTRIES, INC.	SLM-LED-18L-SIL-FT-40-70CRI		1	18909	1	135
□	DD	10	10	COOPER LIGHTING SOLUTIONS - INVUE (FORMERLY EATON)	ENC-SA1-740-U-T2-HSS-XXB	ENTRI LED LUMINAIRE (1) 70 CRI, 4000K LIGHTSQUARE IN BATTERY OPERATION WITH 16 LEDs AND TYPE II OPTICS WITH HOUSE SIDE SHIELD	16	36	1	13
▬	EE	10	4	Lithonia Lighting	DSXW2 LED 20C 530 40K TFTM MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 530mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	1	4281	1	36

1 SITE PHOTOMETRICS PLAN
1" = 20'-0"

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota

Richard D. Becker
Signature

Richard D. Becker
Typed or Printed Name

53700 09/11/2023
License # Date
Electrical
Discipline
RYL202204
Job Number

Drawing Date:
09.11.2023

Drawing History/Revisions:

Project Architect: A. PETER HILGER, AIA
Project No.: RYL202304
Drawn By: CS
Checked By: JA

SHEET TITLE:
SITE PHOTOMETRIC CALCULATIONS

BB



Catalog #: _____ Project: _____ Type: _____
Prepared By: _____ Date: _____

Slice Medium (SLM)
Outdoor LED Area Light



OVERVIEW	
Lumen Package	9,000 - 55,000
Wattage Range	62 - 436
Efficacy Range (LPW)	114 - 162
Weight lbs(kg)	27 (12.2)
Control Options	IMSBT, ALB, ALS, 7-Flw, PCI



QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 33 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (L) and integral half louver (H) options available for enhanced backlight control.

Electrical

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) input 50/60 Hz or optional High Voltage (347-480 VAC).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth™ motion sensor. Fixtures operate independently and can be commissioned via IOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern. (See drawing in poles section)

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaires per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications/applications are qualified.
- IK08 rated luminaire per IEC 66262 mechanical impact code.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/GPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)

DD

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison
Impact Elite LED

Wall Mount Luminaire

Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Energy and Performance Data page 3
- Control Options page 4

Product Certifications



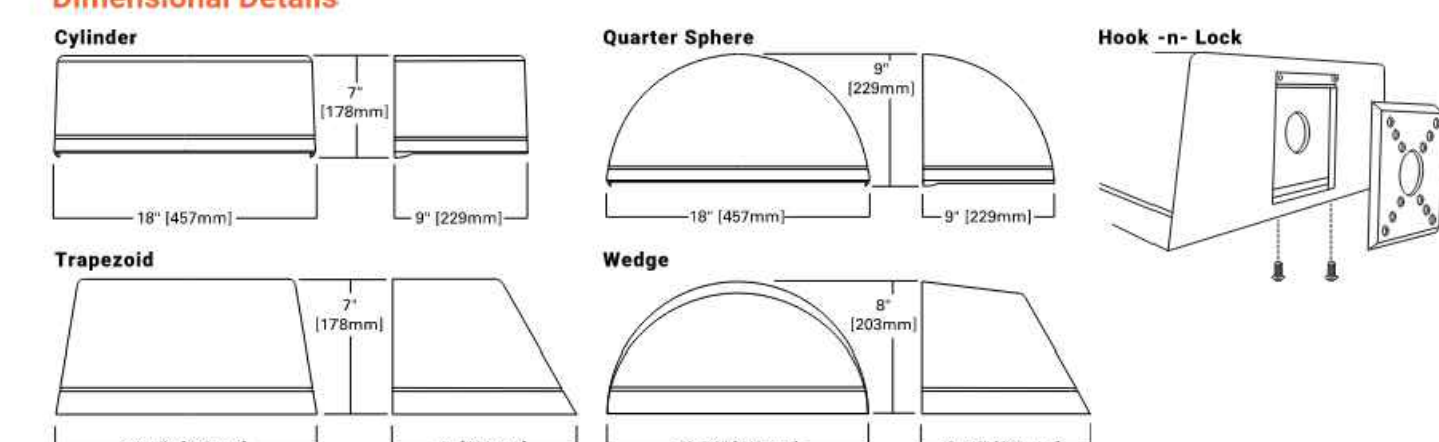
Connected Systems

- WaveLinx
- Enlighted

Quick Facts

- 15 Optical Distributions
- Lumen packages range from 2,459 to 11,480 (20W - 95W)
- Efficacy up to 149 lumens per watt

Dimensional Details



NOTES
1. USA Certified for 3000K CCT and warmer only.



EE



D-Series Size 2
LED Wall Luminaire



dseries

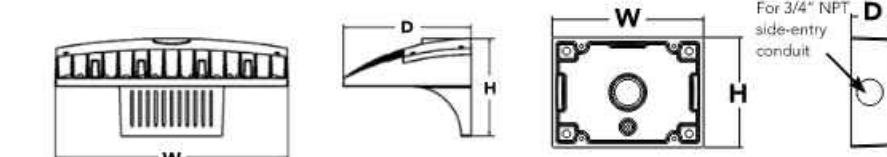
Specifications

Luminaire

Width: 18-1/2" (467mm)
Depth: 10" (254mm)
Height: 7-5/8" (194mm)

Back Box (BBW)

Width: 5-1/2" (140mm)
Depth: 1-1/2" (38mm)
Height: 4" (102mm)



Ordering Information

A+ Capable options indicated by this color background.

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL[®] controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background!

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to ROAM](#); [Link to DTL DLL](#)

EXAMPLE: DSWX2 LED 30C 700 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSWX2 LED	20C (two engines)	350 350 mA	30K 3000 K	T25	Type II Short	MVOLT ¹ 120V ¹	Shipped included PE Photometric cell, button type ¹ PER NEMA twist-lock receptacle only (control ordered separately) ² PER10 Fine wire thermostat only (control ordered separately) ² PER7 Seven-wire receptacle only (control ordered separately) ² DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) PR 180° motion/ambient light sensor <15' mag ht ^{11,12} PRH 180° motion/ambient light sensor, 8-15' mounting height, ambient sensor enabled @ 15' ^{11,12} PRH18CV Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled @ 15' ^{11,12}
		530 530 mA	40K 4000 K	T24	Type III Medium	208V ¹	
	700 700 mA	50K 5000 K	T35	Type III Short	208V ¹		
	1000 (1000 mA) ¹³	AMBC Amber phosphor converted	T4M	Type IV Medium	277V ¹		
			T7M	Forward/Reverse Medium	347V ¹⁴		
					480V ¹⁴		

Other Options	Field required
Shipped installed SF Single face (120, 277, 347V) ¹ DF Double face (208, 240, 480V) ¹ HS House-side shield ¹ SPD Separate surge protection ¹⁵	DDBDZ Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSD Sandstone DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHXID Textured white DSBTXD Textured sandstone



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I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota

Richard D. Becker
Signature

Richard D. Becker
Typed or Printed Name

53700 09/11/2023
License # Date
Electrical
Discipline
RYL202204
Job Number

Drawing Date:
09.11.2023

Drawing History/Revisions:

Project Architect: A. PETER HILGER, AIA
Project No.: RYL202304
Drawn By: CS
Checked By: JA

SHEET TITLE:
SITE PHOTOMETRIC
LIGHTING CUT SHEETS